HARRIS RANCH COMMUNITY INFRASTRUCTURE DISTRICT NO. 1

HAYSTACK SUBDIVISION NO. 1 ROAD AND UTILITY IMPROVEMENTS (SW 12 & 13)

PROJECT COMPLETION DATE: FEBRUARY 24, 2022

PROJECT SUBMITTED TO THE CITY OF BOISE: March 24, 2022

TABLE OF CONTENTS

for

HAYSTACK SUBDIVISION NO. 1 ROAD AND UTILITY IMPROVEMENTS (SW 12 & 13)

- Acknowledgement of Receipt
- Reimbursement Request Amount
- Wire Instructions
 - 1. PROJECT DESCRIPTION
 - 2. REIMBURSEMENT REQUEST EXPLANATION
 - 3. ACCEPTANCES
 - A. ACHD Acceptance for Ownership and Maintenance
 - **B.** Sanitary Sewer Acceptance
 - C. Street Lights Acceptance

4. **BID DOCUMENTATION**

- A. Public Bidding Advertisement
- B. Bid Tabulation
- C. Bid Proposal
- D. Notice of Award
- 5. SUMMARY OF REIMBURSEMENT REQEUSTS
- 6. CENTRAL PAVING CONSTRUCTION
 - A. Construction Contract
 - **B.** Record Construction Drawings
 - I. Sewer
 - II. Landscape
 - III. Pressurized Irrigation
 - C. Recorded Subdivision Plat
 - D. Change Orders
 - E. Engineer's Payment Request Evaluations
 - F. Pay Applications and Payments

7. RIVERIDGE ENGINEERING

- A. Contract
- **B.** Pay Applications and Payments

Acknowledgement of Receipt

From: Barber Valley Development & Harris Family Limited Partnership

877 W. Main Street, Ste 501

Boise, Idaho 83702

I hereby acknowledge receipt of the following Harris Ranch Community Infrastructure District No. 1 reimbursement request from Barber Valley Development and Harris Family Limited Partnership:

Dallas Harris South Subdivision No. 1 Road and Utility Improvements (SE5 / DHE 18)
Project Manual & Reimbursement notebook

Signature of Recipient

City of Boise

Date

Haystack Subdivision No. 1 Road and Utility Improvements (SW 12 & 13)

Construction of roadways for the benefit of the Harris Ranch Community Infrastructure District

\$1, 463,218.11

Wiring Instructions:

Columbia State Bank

Routing

Account

Barber Valley Development Inc.

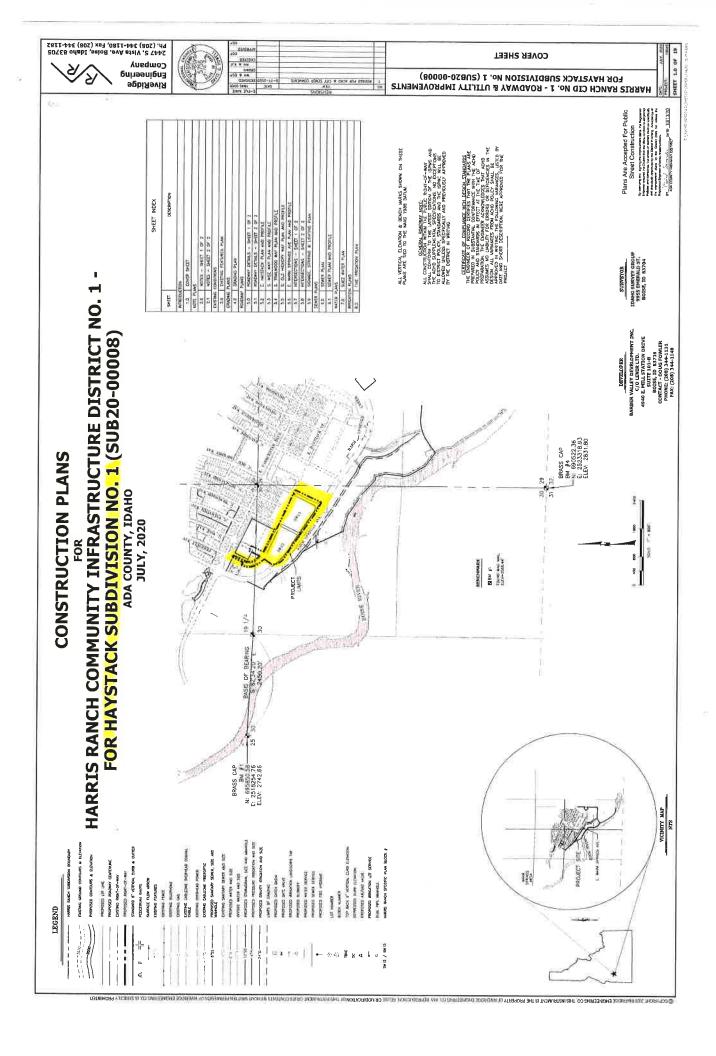
Project Description

Haystack Subdivision No. 1 Road and Utility Improvements SW 12 & 13

Project reimbursement request submitted by Barber Valley Development, Inc. & Harris Family Limited Partnership, LLC

Doug Fowler

President Barber Valley Development





T. Hethe Clark (208) 388-3327 hclark@clarkwardle.com

Via hand delivery

March 23, 2022

The Board of the Harris Ranch Community Infrastructure District No. 1 ("HRCID") c/o David Hasegawa, District Manager 150 N. Capitol Blvd.

Boise, Idaho 83702

Re: Completeness Letter - Haystack Subdivision #1 Road & Utility Improvements

Dear Members of the Board:

This letter is a review of how the above-mentioned payment request (the "Payment Request") conforms to both the requirements of Title 50, Chapter 31 of Idaho Code (the "CID Act") and the District Development Agreement No. 1 for the Harris Ranch Community Infrastructure District No. 1 (the "Development Agreement"). As noted below, the Payment Request does meet the letter of the CID Act and the Development Agreement and are eligible for reimbursement.

Background

The Payment Request is related to an improvement project within the Harris Ranch Community Infrastructure District No. 1 (the "HRCID"). In particular, the project relates to an area of HRCID commonly referred to Haystack Subdivision No. 1 (the "Project"), which is located in the southwest area of Harris Ranch. The reimbursement requests include roadway and utility improvements in right-of-way that is owned by the Ada County Highway District, which is a political subdivision of the State of Idaho. These rights-of-way include S. Old Hickory Way, S. Trailwood Way, S. Wise Way, E. Haystack Street, S. Perrault Way, and E. Warm Springs Ave.

T. Hethe Clark

Ceoffrey M. Wardle

Joshua J. Leonard

T: 208.388.1000 **F**: 208.388.1001 clarkwardle.com 25I E Front St, Suite 3IO PO Box 639 Boise ID 8370I

Conformity with the Development Agreement

The Development Agreement provides the roadmap for reimbursement of eligible projects within HRCID. Article II of the Development Agreement provides for the manner by which eligible projects are to be constructed by the developer, and requires the following:

Compliance with Applicable Codes. Per Section 2.1(b) of the Development Agreement, each of the Payment Requests were built to the standards required by Ada County Highway District ("**ACHD**") and the City of Boise ("**City**") prior to acceptance. Each of the improvements required inspection prior to acceptance by ACHD or the City. Roadway improvements were accepted by ACHD on February 24, 2022. Sewer was accepted on January 27, 2021. Street lights were accepted by the City of Boise on July 6, 2021.

Public Bidding. Section 2.2 requires conformity with public bidding requirements. The Payment Requests were both publicly bid in accordance with Idaho Code, including Section 67-2805. Notices of the opportunity to bid were published in The Statesman, with proof (affidavits) of publication provided to CID staff. Notices inviting bids include substantially the same information required in Section 1.5(b) of the Development Agreement, and the "limitation on recourse" language required in Section 1.5(d) is included in the Project Manual (see *Instruction to Bidders*, Para. 16). The lowest responsible bidder was, in each case, selected.

Cost Review. Sections 2.3 and 3.2(a) require that all project costs be submitted to the District Engineer for review. We have reviewed the Payment Requests in detail and removed items not eligible for reimbursement (e.g., domestic water facilities owned by Suez, a private entity).

Conditions for Payment. Section 3.3 includes a number of conditions for payment, outlined below:

Item	Description	Status		
(i)	Certificate of Engineer	Included with this payment request		
(ii) , (v)	Evidence of public ownership	All improvements are located in ACHD right-of-way and		
		the Payment Requests include acceptance by the relevant		
		local government entities		
(iii)	Environmental assessments	Not requested – no evidence of contamination		
(iv)	Conveyance to public entity	All property conveyed via standard plat dedication		
(vi)	Assignment of warranties	All roadway work includes two-year warranty assigned to		
		ACHD upon acceptance of the Work per the Construction		
		Contract, Article XII		
(vii)	Acceptance letters	ACHD, City of Boise, and Central District Health		
		acceptance letters are included in the Payment Request		
		packet as noted above		
(viii)	Other documents requested by	None requested to developer's knowledge		
	District Manager			

Conformity with the CID Act

The Payment Requests are also eligible for reimbursement per the CID Act, as shown below:

Public Ownership. Section 50-3101(2) requires that community infrastructure must be owned by the state or a political subdivision. The Payment Requests include road and utility improvements that are owned by a political subdivision of the state – in this case, the real property (roadways) are owned by ACHD and the reimbursed sewer facilities are owned by the City.

Definition of Community Infrastructure. All of the items included in the Payment Requests are eligible for reimbursement under the definition of community infrastructure. Roadways are the <u>first</u> identified category of reimbursement. The wastewater system and storm water improvements are also eligible under Idaho Code Section 67-8203(24) (internally referenced in Section 50-3102(2)), which includes "[w]astewater collection, treatment and disposal facilities" as well as "[s]tormwater collection, retention, detention, treatment and disposal facilities, flood control facilities, and bank and shore protection and enhancement improvements."

Substantial Nexus and Direct or Indirect Benefit. Section 50-3102(2) requires that community infrastructure have a substantial nexus and a direct or indirect benefit to the district. The term substantial nexus is not defined in the CID Act; however, in its typical usage, this refers to the overlap between the development of the HRCID, the needs that development creates, and the role the project plays in satisfying those requirements. Whether there is a direct or indirect benefit is a very similar analysis. Here, the improvements are generally categorized as roads, domestic sewer, and storm water facilities. Each has a benefit to the larger district. The roads in question surround the multi-family areas (shown in violet and pink), they are part of the entry way from the E. Warm Springs Ave. bypass, and will access areas of the project that will be highly visited upon future buildout, including the park areas of the Village Green (green) and the commercial areas that include the Village Center (dark purple).



Fronting Individual Single-Family Residential Lots. No roadways involved in these Payment Requests front individual single-family residential lots. All roadways in question front properties that are currently in development as multi-family projects.

Conclusion

As shown above, each of the elements of the Payment Requests are eligible for reimbursement under the CID Act and the Development Agreement. As always, we thank you for your careful review and look forward to approval of these items.

Very truly yours,

Hethe Clam

T. Hethe Clark

HC/bdb

c: Client



Mary May, President Alexis Pickering, Vice-President Jim D. Hansen, 2nd Vice President Kent Goldthorpe, Commissioner Dave McKinney, Commissioner

February 24, 2022

To: BARBER VALLEY DEVELOPMENT INC 4940 E Mill Station Dr Ste 101-B Boise. ID 83716

Re: Haystack Subdivision/ Wise Way Subdivision Project (Trakit) No. SUBP20-0099 Acceptance for Maintenance

You are hereby advised that construction of the public street improvements required of **Haystack** Subdivision/ Wise Way Subdivision have been inspected by District personnel and said work has been satisfactorily completed to District Standards and the approved plans.

The Ada County Highway District hereby accepts the public street improvements constructed with Haystack Subdivision/ Wise Way Subdivision for public maintenance.

This acceptance date of February 24th, 2022 is the date of commencement of all warranties and guarantees for the 24-month period stipulated in the subdivision construction permit.

If you have any questions or concerns, please feel free to contact me at (208) 387-6354 or Malexander@achdidaho.org

Sincerely,

Sarah Cannon

Mike Alexander

Development Services Technician

Engineering Tech III

Sherwin Pestka, ACHD Accounting Ana Osborn, Shelaine Starkey and Steven Pecka, ACHD Accounting Megan Merkley, ACHD GIS Services Scott Forrey & Susan Perry, ACHD Pavement Management Scott Bennett & Ed Merrill, ACHD Utilities Amanda Morse (agmorse@adaweb.net) & Jean Schaffer (ischaffer@adaweb.net), Ada Coun

Digitally signed by Michael Alexander

11:05:45-07'00'



March 25, 2022

Doug Fowler Barber Valley Development, Inc. 4940 E. Mill Station Dr. Ste. 101-B Boise, ID 83716

RE: Project Acceptance Project No.: DRI-1922

Project Description: Haystack Subdivision #1

SUB 20-00008

Dear Gentlemen:

The sewer system for the above referenced project has been inspected and is approved for acceptance and release of the bond(s). This project has been constructed in accordance with the approved plans.

The one year warranty period, as required in Chapter 10-2-5.6, of the Boise City Code, will end one year after the above date. The City of Boise Public Works Department intends to make a further inspection of this project before the one year warranty period ends. If any problems are discovered, you will be notified the contract the contract

Sincerely,

John Kellar

Inspector

Mike Sheppard, P.E. Civil Engineer

JK/tjl

CC:

Dan Smith, P.E., DEQ <u>dan.m.smith@deq.idaho.gov</u> email Lori Badigian & Mike Reno, Central District Health Dept., <u>lbadigia@cdh.idaho.gov</u> email Jim Pickard, ACHD Construction Services <u>ipickard@achdidaho.org</u> email

I:\PWA\Project Program\DRI\DRI 1900s\1922\Project Acceptance ltr.docx



21-0051

January 27, 2021

Ada County Recorder Attn: Phil McGrane 200 West Front Street Boise, ID 83702

RE: Haystack Subdivision No. 1

Dear Mr. McGrane:

Central District Health has reviewed and does approve the final plat for this subdivision for central water and central sewer facilities. Final approval was given January 27, 2021.

Sanitary restrictions as required by Idaho Code, Title 50, Chapter 13 have been satisfied based on a review by a Qualified Licensed Professional Engineer (QLPE) representing the City of Boise and SUEZ and the QLPE approval of the design plans and specifications and the conditions imposed on the developer for continued satisfaction of the sanitary restrictions. Buyer is cautioned that at the time of this approval, no drinking water extensions or sewer extensions were constructed. Building construction can be allowed with appropriate building permits if drinking water extensions or sewer extensions have since been constructed or if the developer is simultaneously constructing those facilities. If the developer fails to construct facilities then sanitary restrictions may be reimposed, in accordance with Section 50-1326, Idaho Code, by the issuance of a certificate of disapproval, and no construction of any building or shelter requiring drinking water or sewer/septic facilities shall be allowed.

If you have any questions, please call 208-327-8517.

Sincerely,

Lori Badigian, R.E.H.S.

Senior Environmental Health Specialist

cc: Barber Valley Development, Inc.
RiveRidge Engineering Company
Boise City Building Department
Boise City Planning Department

LB:bk



6 July 2021

RE: Street Light Acceptance

SUB20-00008

Haystack Subdivision # 1

Everyone:

The street light system for the above referenced project has been inspected and is approved for acceptance. This project has been constructed in accordance with the approved plans.

The one year warranty period, as required in Chapter 9-20-08, D2, of the Bolse City Subdivision Ordinance, will end one year after the above date. The City of Bolse Public Works Department Intends to make a further inspection of this project before the one year warranty period ends. If any problems are discovered, you will be notified.

Sincerely,

Tom Marshall

Municipal Lighting Technician City of Boise, Public Works Dept.

NOTICE OF ADVERTISEMENT TO BID

for

HARRIS RANCH COMMUNITY INFRASTRUCTURE DISTRICT NO. 1 – HAYSTACK SUBDIVISION NO. 1 ROAD AND UTILITY IMPROVEMENTS

(September 25, 2020)

Barber Valley Development, Inc. invites you to submit a sealed bid for HARRIS RANCH COMMUNITY INFRASTRUCTURE DISTRICT NO. 1 – HAYSTACK SUBDIVISION NO. 1 ROAD AND UTILITY IMPROVEMENTS (the "Project"). Bids will be prepared per the following Instructions to Bidders. Hard copy bid packets are available at Bidder's cost from:

RiveRidge Engineering Company 2447 S. Vista Ave. Boise, Idaho 83705

The construction of the Project will include, but not be limited to, the following work elements:

Work elements include all roadway improvements for S. Old Hickory Way, S. Trailwood Way, S. Wise Way, E. Haystack Street, S. Perrault Way and E. Warm Springs Avenue, as depicted on the approved plans for this project. Work elements related to these roadways include site grubbing and placement of roadway and sidewalk embankments, roadway curbs, gutters, sidewalks, and complete pavement section, installation of roadway markings, signage, street lighting, landscaping, tree grates and tree guards, benches, bike stands, trash receptacles, pressure irrigation mains, controls, backflow preventers power source, fine irrigation within the roadside planter strips and 15' sidewalks, installation of sanitary sewer mains and services, domestic water mains, hydrants and services, storm water collection piping, manholes and inlets, all as detailed on the approved plans.

Bids shall be submitted to RiveRidge Engineering at 2447 S. Vista Avenue by 4:00 p.m. on October 13, 2020.

Each sealed bid package shall be marked "HARRIS RANCH COMMUNITY INFRASTRUCTURE DISTRICT NO. 1 — HAYSTACK SUBDIVISION NO. 1 ROAD AND UTILITY IMPROVEMENTS." A 5% bid bond shall be required with the bid. All bidders shall have, at the time of bid opening, the proper Public Works Licensing for the intended construction.

INSTRUCTIONS TO BIDDERS

for

HARRIS RANCH COMMUNITY INFRASTRUCTURE DISTRICT NO. 1 – HAYSTACK SUBDIVISION NO. 1 ROAD AND UTILITY IMPROVEMENTS

- 1. <u>General</u>. This proposal is for work set forth in the plans and specifications for the Project (the "**Proposal**").
- 2. <u>Specifications and Documents</u>. Prospective bidders (hereafter, "Bidders") who intend to make a Proposal may obtain copies of the Specifications and Plans, each as defined in the Construction Contract (Section 2.0 of the Project Manual) from the entity identified on the Notice of Advertisement to Bid at Bidder's expense. Refunds will not be made to Bidders.
- 3. **Fixed Price**. The contract for which Proposals will be submitted is a fixed-price contract. The Schedule of Values shall not in any way change the nature of the contract from its lump sum, fixed-price basis. Price proposals shall be submitted on the Bid Schedule forms. All pricing and payment shall be in United States dollars.
- 4. <u>Proposals</u>. The original and three copies of each Proposal shall be prepared and submitted in accordance with these Instructions to Bidders. Proposals which are not prepared and submitted in accordance with these instructions will be considered irregular and may be rejected. The Bidder shall submit the Proposal and shall complete the Bid Schedule, including alternatives, if any, and Schedule of Values which are attached hereto. The Schedule of Values for each Proposal shall be used primarily for progress payments and as a basis for pricing changes in the work.
 - a. <u>Preparation</u>. Proposals shall be prepared using the forms included. Proposals shall be typed or legibly written in black or blue ink. All prices should be stated in figures only. Bidders shall acknowledge receipt of all addenda issued for the specifications and documents in the space provided in the Proposal form.
 - b. <u>Exceptions</u>. Each Bidder shall list in the space provided on the Proposal form all exceptions or conflicts between its Proposal and any of the Specifications or Plans. If more space is required, additional pages may be added. In case of conflicts not identified by Bidder (as discussed in more detail below), the requirements of the Specifications and Plans shall govern.

Bidders shall be responsible for requesting in writing and receiving written clarification to all questions prior to submitting bids. If the Bidder takes exception to any element of the Contract Forms or any of the Specifications or Plans, all such exceptions shall be specific in nature and carefully referenced to the applicable page number, article number, and article title of the specifications and documents. If the Bidder proposes deletion of specification language and substitution of revised language, such deletion and substitution shall be carefully presented by typing complete paragraphs or articles of the original specification language and incorporating the substitute language. Proposed deletions shall be set off by brackets (i.e., "[delete this language]") and proposed substitute language shall be indicated by underlining (i.e., "substitute this language"). Exceptions that are general, which make reference to the Bidder's standard

terms and conditions, or that make reference to the Bidder's descriptive information as a whole will not be acceptable. Proposals that do not comply with these requirements for the presentation of exceptions may be rejected in Owner's sole discretion. If a proposal includes express or implied exceptions that are not listed as required, the requirements of the Specifications and Plans shall govern. The Bidder shall not alter any part of the Specifications or Plans in any way, except by stating its exceptions.

c. <u>Signatures</u>. Each Bidder shall sign its Proposal with an authorized signature and shall provide its full business address. The Bidder's name stated on the Proposal shall be the exact legal name of the Bidder's entity. The names of all persons signing shall also be typed or printed below the signature.

Satisfactory evidence of the authority of the officer signing on behalf of a corporation shall be furnished. Bidding corporations, limited liability companies, and partnerships, shall designate the state in which they are formed or registered and the address of their principal office.

d. <u>Submittal</u>. Proposals shall be submitted not later than the date and time stipulated in the Notice of Advertisement. The original and three copies shall be delivered to Owner at the following address:

Barber Valley Development, Inc. c/o RiveRidge Engineering Company 2447 S. Vista Ave. Boise, Idaho 83705 Ph. 208-344-1180 Fax 208-344-1182

A single proprietary interest shall not submit multiple proposals for the Project even though the individual proposals are submitted under different names. Owner reserves the right to reject all proposals so submitted.

- 5. <u>Withdrawal</u>. A Bidder's proposal may be withdrawn, altered, or resubmitted at any time prior to the time set for receiving the proposals. Proposals may not be withdrawn, altered, or resubmitted thereafter.
- 6. <u>Information to be Submitted with the Proposal</u>. In addition to any other information requested, each Bidder shall submit with its Proposal, unless otherwise stated, pertinent information concerning proposed organization and proposed schedule, as further described below:
 - a. <u>Schedule of Values</u>. A Schedule of Values for all of the work that includes quantities and prices of items which when added together equal the Contract Price and subdivides the Project into component parts in sufficient detail to serve as the basis for progress payments during performance of the Project.
 - b. <u>Bidder's Schedule Letter</u>. Each Bidder shall submit a schedule for construction of the improvements to meet the scheduled completion date of the Contract. The following dates are to be incorporated into the schedule:

Construction Notice to Proceed – October 30, 2020
Milestone One Complation – April 16, 2021
Substantial Completion (Road segment opened) – June 25, 2021
Final Completion – July 16, 2021

The Bidder shall submit the following with its Proposal:

- i. A construction plan, including preliminary schedule, in writing. The plan shall indicate the sequence of activities including the definition of the various areas which will be worked in parallel and first areas that the Bidder intends to start. The scope of the Bidder's construction plan shall contain sufficient detail to include all major components of the Project, the allowances for other contractors, and activities discrete enough to evaluate on a weekly basis; and
- ii. A statement verifying that the Bidder can meet the schedule;
- c. <u>Bidder's Field Organization</u>. An organization chart showing the names of field management, supervisory, and technical personnel, and the details of the management, supervisory, and technical organization that Bidder proposes to be used for this Project. The successful Bidder's organization will be subject to the review and acceptance of Owner. The experience records of the bidder's required field personnel shall be submitted with the bid. Bidder's organization shall include the name of the superintendent who will be on-site throughout the course of the Project.
- d. <u>List of Subcontractors</u>. Each Bidder shall submit with its Proposal a list of subcontractors, including the value of the subcontract, what is to be supplied, and experience records (on comparable work) of the subcontractors, field personnel.
- e. Quality Control Program. Each Bidder shall submit, with its Proposal, a copy or written description of its quality control program.
- 7. **Warranty.** All work associated with the Project shall have a warranty period of two (2) years from the date of Project completion.
- 8. <u>Local Conditions</u>. Each Bidder shall visit the site of the Project or otherwise thoroughly inform itself of all conditions and factors which would affect the prosecution and completion of the Project, including, but not limited to, weather and seasonal runoff, the arrangement and condition of existing or proposed structures affecting or which are affected by the Project; the availability and cost of labor, water, materials and supplies; and facilities for transportation, handling, and storage of materials and equipment. By submitting a Proposal, Bidder agrees that all factors have been properly investigated and considered in the preparation of its Proposal. No claims for financial adjustment or extension of time to any contract awarded for the Project will be permitted by Owner that are based on the lack of such prior information or its effect on the cost of the Project.
 - a. <u>Subsurface Conditions</u>. Each Bidder shall be responsible for determining the types of subsurface materials that will be found in connection with the Project. Bidder will be provided with a copy of a geotechnical evaluation provided by

STRATA, dated January 8, 2020 (ref. File: BOI19260A). As further set forth in Section 2.02 of the Construction Contract, each Bidder is responsible for making its own interpretation of any data. There is no express or implied guarantee of any subsurface data provided.

b. <u>Site Conditions that may Affect Sequence of Work.</u> Site conditions such as ground elevations, groundwater depths, existing underground and overhead utilities, on site debris, weather, seasonal runoff, etc. may affect Bidder's work. Bidder is responsible for the means, manner, and method of addressing known or unknown site conditions.

Bidder shall receive approval by Owner or Owner's Representative prior to visiting the Site and shall indemnify, defend, and hold the Owner and Owner's Representative harmless for any damages or claims associated with Bidder or Bidder's employees, agents, or representatives activities associated with such site visits. Any disturbance of the Site shall be immediately repaired by Bidder at Bidder's sole cost.

- Interpretation and Addenda. If any Bidder is in doubt as to the true meaning of any part of the proposed contract documents, such Bidder may submit to Owner and Engineer a written request for an interpretation. Each Bidder submitting the request will be responsible for its prompt delivery. Any interpretation of the proposed documents will be made only by addendum transmitted to each party receiving a set of such documents. Owner or Engineer will not be responsible for any other explanations or interpretations of the proposed documents. All questions will be answered in writing. It shall be each Bidder's responsibility to advise Owner and Engineer, before the time specified for receipt of proposals, of conflicting requirements or omissions of information that require clarification. Those questions not resolved by addenda shall be listed in the space provided on the proposal form, together with statements of the basis upon which the proposal is made as affected by each question. Written questions may be directed to individual bidders by Owner or Engineer to clarify their proposals and references provided by Bidders will be contacted for recommendations before a Contractor is selected.
- 10. <u>Objections</u>. Any objections to specifications or bidding procedures must be presented to Owner and Engineer in writing at least three (3) business days prior to the date and time upon which bids are scheduled to be opened.
- Bidder to execute the contract may result in forfeiture of the bid bond. The successful Bidder, upon entering into an agreement with Owner, will also be required to furnish a performance bond and a payment bond, each for not less than one hundred percent (100%) of the Contract Price, as adjusted by authorized change order, in accordance with the Contract.
- 12. <u>Taxes, Permits, and Licenses</u>. Each Bidder shall be responsible for determining the applicable taxes, permits, and licenses. If the Bidder is in doubt as to whether or not a tax, permit, or license is applicable, Bidder shall state in his proposal whether this item has been included in its Proposal and the amount of the tax, permit, or license in question.
- 13. <u>Time of Completion</u>. Time is of the essence for completion of the Project. The Proposal shall be based upon completion of the Project in accordance with the specified schedule. It will be necessary for Bidder to satisfy Owner of its ability to complete the Project within the identified time.

- 14. Acceptance and Rejection of Proposals. Owner reserves the right to reject Proposals, to waive irregularities and informalities in any Proposal that is submitted, and to award the Project to other than the low bidder if such bids are not responsive. Bidders not selected for award will be notified as soon as a winning Bidder has been selected. A selection will be made as soon as possible without compromising the selection process. Bidders are requested not to inquire regarding the status of the bid evaluation.
 - 15. Property of Owner. All proposals shall become the property of Owner.
- 16. Harris Ranch Community Infrastructure District No. 1. The Project is being bid and constructed pursuant to the terms of District Development Agreement No. 1 between the City of Boise, Idaho and Harris Ranch Community Infrastructure District No. 1. The successful Bidder will not have recourse, directly or indirectly, to the City of Boise or Harris Ranch Community Infrastructure District No. 1 for any costs under any construction contract or any liability, claim, or expense arising therefrom.

Idaho Statesman

Keeping you connected | IdahoStatesman.com

AFFIDAVIT OF PUBLICATION

Account #	Ad Number	dentification	PO	Amount	Cols	Depth
263310	0004764526	LEGAL NOTICE ADVERTISEMENT FOR BID Se	ADVERTISEMENT FOR BID	\$178.18	1	10.78 In

Attention: Barbara Beaushaw

CLARK WARDLE LLP PO BOX 639 BOISE, ID 83701

LEGAL NOTICE ADVERTISE-MENT FOR BID Sealed bids will be received by Barber Valley De-velopment, Inc. ("BVD") in con-nection with Harris Ranch Community Infrastructure District No.

1 ("HR CID No.1") for the construction of roadway and utility
infrastructure improvements in
connection with the construction connection with the construction of Haystack Subdivision No. 1 (the "Project"), which includes roadway improvements for S. Old Hickory Way, S. Trailwood Way, S. Wise Way, E. Haystack Street, S. Perroult Way and E. Warm Springs Avenue. Elaments related to these roadways are anticipated to include site grubbing and placement of roadway and sidewalk embankments, roadway curbs, gutters, sidewalks, and complete pavement section, installation of roadway markings, signage, street lighting, landscaping, tree grates and tree guards, benches, bike stands, trash receptacles, pressure irrigation mains, controls, staria, triasti receptacies, pres-sure irrigation mains, controls, backflow preventers power source, fine irrigation within the roadside planter strips and 15' sidewalks, installation of sanitary sewer mains and services, do-mestic water mains, hydrants and services, storm water collecmestic water mains, hydrants and services, storm water collection piping, manholes and inlets, all as detailed on the approved construction drawings. Bids will be received at the office of RiveRidge Engineering Company, 2447 S. Vista Avenue, Boise, Idaho 83702, no later than 4:00pm on October 13, 2020 and will be opened at that time. All questions or clarifications concerning this invitation to bid or the content and requirements of the bid and contract documents must be submitted in writing by 4:30pm on October 9, 2020. Address all questions or clarification requests in writing to Dave Powell, RweRidge Engineering Company, 2447 S. Vista Avenue, Boise, Idaho 83702 (dpowel Warvidg.com). Project documents will be available in hard copy and electronically (PDF formal) at a cost of \$50.00 per set beginning. September 28, 2020. Work will be awarded under one (11) upergrat contract and beginning September 28, 2020. Work will be awarded un-der one (1) general contract and will include all related work. All bids must be a lump sum basis;

VICTORIA RODELA, being duly sworn, deposes and says: That she is the Principal Clerk of The Idaho Statesman, a daily newspaper printed and published at Boise, Ada County, State of Idaho, and having a general circulation therein, and which said newspaper has been continuously and uninterruptedly published in said County during a period of twelve consecutive months prior to the first publication of the notice, a copy of which is attached hereto: that said notice was published in The Idaho Statesman, in conformity with Section 60-108, Idaho Code, as amended, for:

2 ___ Insertions

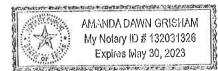
Beginning issue of: 09/25/2020

Ending issue of: 10/02/2020

(Logala Clark)

On this 5th day of October in the year of 2020 before me, a Notary Public, personally appeared before me Victoria Rodela known or identified to me to be the person whose name subscribed to the within instrument, and being by first duly sworn, declared that the statements therein are true, and acknowledged to me that she executed the same.

Notary Public in and for the state of Texas, residing in Dallas County



Extra charge for lost or duplicate affidavits. Legal document please do not destroyi segregated ords will not be accepted. Bids will be opened and publicly read aboud at the time and place stated for receipt of bids. Bids received after the time fixed for opening will not be considered. BVD and/or HR ClO No. 1 reserve the right to waive irregularities and to reject any or all bids or to delay award of a contract as further set forth in the Project documents. No bidder may withdraw its bid after the hour set for opening thereof. Bid proposals will be accepted from those contractors only who, prior to the bid opening, hold current licenses as public works contractors in the State of Idaho. All work shall be performed in accordance with Title 54, Chapter 19 of Idaho Code governing Public Works Contractors. Each bidder shall identify its Public Works Contractors State License Number in space provided on the bid proposal form.

Dated this 25th day of September 2020. Publish Dates: September 25, 2020; October 2, 2020.

HARRIS RANCH CID NO. 1		

			7.0	Art 1 0 1 1			===	Leave to the same	
272	T Resolved	-	TET OF THE	NTRAL PAVING	TYPE TO SERVICE THE PARTY OF TH		XSX	KNIFE HIVER	S TEXANDERS
No.	Dateriation	Quantity	Unit	Unit Cost	Extended Cost	Quantily	Uait	Unit Cost	Extended Ca
1	Mohilizasian	-1-	1.5	\$ 52,000.00	\$52,900,00	_ 1	1.5	5 192,040.00	\$107,008.00
2	Deachilation		1.3	\$ 4,900.00	\$4,500.00	-1	LS	\$ 3,000.00	\$3,000.00
3	Banda	0.74	1.5	\$ 17,500.00	517,500.00		1.5	\$ 9,390.00	59,350.00
4	Insurance	11	1.3	\$ 1.00	\$1.00	1	LS	\$ 575.00	\$525.00
_	Submisi				574,401,00				\$114,915.00
	General Site Work								
5	Clar & Givili	5.55	AC	52,300,60	\$12,765.00	6	ac.	5 1,000,00	\$5,500.00
6	Site Streethard Fill	13681	CY	\$16.80	5213,141,60	9520	CY	1 19.10	\$191,832,00
7	Project Danatering	1	LS	\$3,500.00	\$3,500,00		1.5	3 17,020,00	\$12,020.00
0	Tichiller	2	AC	52,200.00	\$4,100.00	3.5	AC	\$ 1,250,00	84,410.00
ų	Expensión in Sobgrade	2127	CY	518.20	138,711.80	2184	CY	1 4,35	19,152.00
10	Truffic Central		1.5	55,400.00	\$5,400,00	- 1	1.5	3 6,090,00	56,090.00
11	Construction Surveying		U	\$1,000,00	\$1,000.00	i i	1.5	5 .	50.00
	Subnite				\$278,918.90				5319,634.00
	Roads				3 milli				
12	Rand & Sidemalls Subginde Completi & Proji	17,339	200	\$1.25	121,673,75	16,700.0	24	5 0.85	\$14,195.00
13-	5" Minus Uncounted Appregate Subbase (Impured)	4,064	CY	326.20	\$106,476.30	4,750.0	CY.	1 25.00	\$121,750.00
14	3/4" Miran Created Aggregate Base Course	1,690	cv	559.00	\$90,000,00	1,364.0	CY.	\$ 10.75	\$75,756.00
15	I-1/2" Asphalt Cocesse	8,792	SY	511.30	5105/933.60	9.090.0	5y	5 9.80	\$59,082,00
16	3" Asphalt Controls (Two Lift Placental per ACHD)	696	SY.	\$25.40	519,766.48	690.0	SY	5 21,20	\$14,628.00
17	Type "P" Asphalt Regain	286	SV	\$49.50	11J,956,80	500.0	sv	5 61.60	930,800.00
12	Sew Cut Existing Apphalit	1,755	LF	31.25	52,893.75	1,500.0	LP	5 0.85	51,275.00
19	Standard 6" Vernical Curb and Griffer and Base Course	5,520	L.F	\$17.30	5/18/308/64	5,474.0	LF	5 22,00	5120,425,69
26	6" Wide Couriete Sidewalk and Hase Course	1,857	5V	\$43,00	581,141.00	1,044.0	sv	5 35.00	258,010.00
21	35' Wide Contrate Sidawalk and Base Course	3,555	54	5-12.00	7720,770.00	3,820.0	SY	5 36.45	\$139,239.00
LI.	Cinciple Pulestrian Humps	213	SY	5133,00	124,129.00	26.0	SY.	\$ 1,050,00	\$27,300.00
21	Conquere Entrances	85	5Y	549.90	34,741.30	292.9	AV	5 56.79	511,346.00
	Subtoial				5723,050.10				5716,035,00
	Water								
34	Impail new tr' water proving and mean parting	,	TA:	51,700.00	\$5,100.40	- 1	KA	1 2,900,00	\$2,990.00
25	B" FYC Water Mala	649	LF	535.40	5.17,636,00	649	LV	3 30.70	\$19,648,00
16	6° PVC Water Main	105	i.e	\$191.00	\$29,955.00	105	LF	\$ 2,910,00	\$306,660.00
11	6" ± 2" Blowelf Assembly	1	ĹA	\$1,500.00	\$1,500.00	1	EA.	5 1,210.00	\$5,290,00
28	313" Water Service	- 1	£A.	\$1.00	\$1,60	0	61	5	50.00
20	1" tertpetion Service	3	EA	\$1,700.00	\$5,100.00	3	EA	\$ 1,510,00	\$4,140.00

G 19045/WPFiles/PROJECT MANUAL: CONTRACTOR BID TABULA FION xlsx

Page | of 3

HARRIS RANCH CIO NO. 1 - HAYSTACK SUBD. NO.1 - ROAD AND ULTILITY IMPROVEMENT:

	SCHEDUL	OF VALUE			-				
No	Description	Quantity	Unit	Unit Cont	Extended Cost	Quantity	Unit	Unit Cort	Extended Co
30	1" Weter Jersire milt 1- 2 Inch Setting	n	KA	\$3,700.00	\$49,700.00	. 11	EA	\$ 3,530.00	00.018,822
31	4" Fire Service With Yalve & Bierralf	11	EA	54,389,00	\$47,100.00	II.	EA	3 3,010.00	99.730.00
31	5" Fire byoreas Assembly	1	ES	\$7,280.00	336,900,00	- 3	EA	\$ 4,960.08	\$24,800.00
33	Lover C Main Below Existing Non-Pulable State.	4	KA	\$4,700.00	\$18,890,00		EA	\$ 3,190.00	\$3,190.00
34	Hot Tap Connection to Existing 12" PVC Atso.	1	EA.	\$1,900.00	90.008,62	o o	EA	1 .	00 02
35	Hat Top Connection to Estating 16" Dt Alais	12	EA	\$1,900.00	522,800.00	7	EA:	5 3,190.00	\$22,330.00
36	Adjust Existing Water Valve to Guisted grade	100	LS	\$1,300,00	21700.00	1	Ls	\$ 918.00	5918.00
	Subjetal				\$225,112.00				\$458,576.00
	Sewie								
37	Counsel to New 2" Afein to Existing Saver Manhote	1	EA	7000	\$7,000,00		EA	5 2,510.00	\$2,810.00
38	8° 5BRJ5, PVC Scorr Main	327	L.F	\$72.00	\$23,544,00	328	LF	5 54,06	\$17,712.00
39	4" SERES, PVC Sever Service	102	LF	574.10	57,558.20	129	LF	5 13.50	\$1,741,50
40	6" SDR35, PVC Sewer Service	515	LP	578,10	\$40,721.50	431	LF	5 15,00	16,465,00
45	48" Standard Sonitary Sonce Munhole	1	EA	00.60R.E2	\$3,800.00	T.	EA	5 7,628.88	57,620.00
47	Connect New Service to Exitt Main (forest-a-Tee Connection)	э	EA	\$1,400,00	\$9,800,00	- 10	EA	5 1,750.00	\$17,500.00
43	Cumpict New Service to Kuist, Main (Cut Exist, Main & Impalt Tee)	3	EA	\$3,100,00	\$3,200.00	2	Es	\$ 2,540.00	\$5,080,00
44	Adjust Server Munhole to Grade	1	LS	\$3,700.00	\$3,200.00	9	14	\$ 760.00	\$4,900.00
	Bulgaret			T. C.	\$104,423.70				\$59,828.50
	Storm Drain								
45	11" PVC C-900 Storm Brain Pine	925	LF.	549,40	\$39,930.00	816	CF.	5 48.25	539,372.00
46	18" PVC C-900 Storm Drain Pige	512	LF	569,40	\$35,532.80	512	1.10	\$ 66.00	\$33,792.00
47	Censect in Estating 18" C 900 Sours. Drain Pipe	2	EA.	\$1,300.00	\$1,600.00	E	EA	1,910,00	\$1,900.00
49	Type I Catch Sania	11	fa:	\$1,300.00	514.380.00	- 13	EA:	90.002,1 2	524,180.00
49	48" Standard Starm Beals Manhole	5	EA	\$3,100.00	\$16,500.00	6	EA	5 7,100,00	\$13,000.00
50	Wise Way Shiel Pipe Steem Beain Munhair	7	84	\$7,488.60	514.890.00	3	EA	\$ 4,480.00	28,960,00
51	Core Brill & Councer New Pipe in Existing Manhale Inter	7	T.A	51,800.00	\$12,600.00	7	EA	5 995.00	\$6,902.00
57	Adjust Stares Dress Manhale to Grade	1	LS	\$2,800,00	\$2,800.00		LS	\$ 692.00	\$4,152.00
	Subtental		- 1110	000000000000000000000000000000000000000	5139,062.80				\$133,058.00
- 50	SWPP								
53	Properties of Fish SWPPP, ERGS, ACHIR ESC Play	1 1	1.0	\$1,500.00	51,800.00	1	LS	5 1,030.00	\$1,030.00
4	lastall all 2317s Prior to Construction	1	LS	59,900.00	00.060,02	101	£S.	5 140.00	00.9382
5	Custing only Impert and Maintain BMP's	1.	LS	\$1,700.00	\$1,700.00	2007	LS	\$ 2,090.00	57,990.00
16	Final file inspection and File ENOT	1	LS	5926.00	3826.00	100	LS	\$ 158.00	\$158.00
17	C freigetten Main & Fittings	3.5	LF	543.60	S1.526.00	35	LF	5 35.00	51,725.00
8	4" Gaie Valve	1	E4	5736.00	\$1,472.00	1	EA	\$ 661,00	51,322.00
	Connect to Existing System	1	LS	\$639.00	\$639.00		LS	5	50.00

G : 19045: WPFiles/PROJECT MANUAL CONTRACTOR BID TABULATION xisx

Fage 2 of 3

HARRIS RANCH CID NO. 1	HAYSTACK SUBD. NO.1 - ROAD AND ULTILI	TV IMPROVEMENTS

	SCHEOULI	OF VALUES							
Na	Description	Quantity	Unit	Unit Cost	Retunded Cost	Quantity	Unit	Unit Cost	Extended Con
	Arrigation								
59	Main Line Brain	- 1	EA.	51,106.00	\$1,100,00	_ I	EA	5 1,090,00	¥1,090.00
40	Complete Fine ferigation Design and Installation	- 0	1.3	550,700.00	552,790,00	T.	1.5	5 53,740.00	\$53,740.00
a.	Brigation Storolog	71	LE	96,480.00	\$6,400.00		LS	5 10,450.00	\$10,430.00
	Subtate				\$58,200.00				\$65,300.00
	Landscaping							177	
63	Amanded Tapacal	1030	12	327.50	\$31,075.00	1426	US	5 4.15	\$6,273.08
ø	Laren	33179	1.5	50.51	516,921,29	33180	LS	\$ 0.50	\$16,510.00
4	Tress	86	EA.	5743.00	563,598.00	15	EA	1 588.00	\$10,588.00
65	Flowering plants in Plenter Pate	1	EA:	\$7,100.00	\$7,100.00		EA	\$ 14,610.00	\$14,489.00
10	Track Reception	n ii	LN	51,900.00	520,900,00	.11	LS	\$ 1,800.00	319,000.00
67	Wenthes	- 11	1.5	\$3,300.00	\$34,300,00	- 11	1.5	5 3,700.00	\$49,700,00
44	Planter Pata	11	1.5	\$2,100.00	346,200,00	n	LS	5 1,210.00	516,620.90
69	True Grates	11	1.8	\$5,100.00	\$112,200.00	22	LP.	5 5,110.00	5112,420.00
	Subjoist				5334,594.29				3297,451.00
	Street Signs and Lighting								
10	Street Aligns	1	1.5	510,400.00	\$10,400.00	1	LS	\$ 10,140.00	510,140.00
71	Memoral of Calcing Type II & HI Barricades	1	1.3	\$1,600.00	\$1,600.00	19	£5	\$ 1,530.00	\$1,580.00
21	Street Lights - 25 ft Pole with Class A Fietwee		EA	\$5,700.00	511,400.00	1	EA	E #.810.00	\$17,020.00
73	Street Lights - 30 ft Pete with Class it Ffature	5	KA	\$7,000.00	\$35,000.00		EA	1 9,730.00	\$38,970.60
74	Street Light Electrical Consult & Wice		1.5	536,000.00	\$36,000.60		LS	5 22,050.00	572,050.00
75	Proder Cant Street Signs & Poles	- 3	1.5	12,800.00	92,500.00	-1	LS	\$ 2,740.00	57,740,00
76	Permunat Stipling and Symbols		1.5	\$4,700.00	\$4,700.90	i	LS	5 5,139.00	\$5,130.00
17	Children Kaisting Pasement Strips	400	LF	\$2.15	\$840.00		LF	5 948,00	\$849,00
	Subjetal				\$101,760.00		1		399,026.00
	Tetal Project Cont	Total Project Cost			\$2,042,088,59				\$2.154.042.50

10/14/2020

BIDDER'S PROPOSAL

PROJECT IDENTIFICATION: HARRIS RANCH COMMUNITY INFRASTRUCTURE DISTRICT NO. 1 – HAYSTACK SUBDIVISION NO. 1 ROAD AND UTILITY

IMPROVEMENTS

CONTRACT IDENTIFICATION NUMBER: 19045

THIS BID IS SUBMITTED TO OWNER:

Barber Valley Development, Inc.

c/o RiveRidge Engineering Company

2447 S. Vista Ave. Boise, Idaho 83705

- 1. The undersigned Bidder proposes and agrees, if this Proposal is accepted, to enter into an agreement with Owner in the form included in the Contract Documents to complete all Work as specified or indicated in the Contract Documents for the Contract Price and within the Contract Time indicated in this Proposal and in accordance with the Contract Documents.
- 2. Bidder accepts all of the terms and conditions of the Instructions to Bidders, including, without limitation those dealing with the disposition of Bid Security. Bidder will sign the agreement contained as Item 2.0.A (the "Contract") and submit the contract security and other documents required by the Contract Documents within 7 days after the date of the Notice of Award (Item 2.0.B). Any and all capitalized terms are as defined in the Contract.
- 3. In submitting this Proposal, Bidder represents, as more fully set forth in the Agreement, that:
 - a. Bidder acknowledges receipt and has examined copies of all the Contract Documents, including the Notice of Advertisement and Instructions to Bidders (Item 1.0.A) and the following addenda:

Addendum Date:	Number of Addendum:			
10.13.2020	<u> </u>			

- Bidder has examined the site and locality where the Work is to be performed, the legal requirements (Federal, State and local laws, ordinances, rules and regulations) and the conditions affecting cost, progress or performance of the Work and has made such independent investigations as Bidder deems necessary;
- c. This Proposal is genuine and not made in the interest of, or on behalf of any undisclosed person, firm or corporation and is not submitted in conformity with any agreement or rules of any group, association, organization or corporation; Bidder has not directly or indirectly induced or solicited any other bidder to submit a false or sham Proposal; Bidder has not induced any person, firm or a corporation to refrain from bidding; and Bidder has not sought by collusion to obtain for himself any advantage over any other bidder or over Owner; and

d. Bidder and all subcontractors to be associated with the Project currently possess or will be able to obtain the appropriate Idaho contractor's license prior to execution of the Agreement.

Bidder's Public Works Contractors License No. ____10188-U-1-2

4. Bid Schedules.

- a. Bidder shall complete Bid Schedules for each of the five segments identified in the Notice of Advertisement to Bid.
- b. If awarded, Bidder shall complete the Work per the price(s) established in the submitted Bid Schedule(s).
- c. Bids shall include sales and other applicable taxes or fees.
- d. Quantities shown are estimates and subject to change during construction. Bidder agrees to perform all work described in the Contract Documents at the unit price identified in the Bid Schedule(s).

Bidder agrees:

- a. To provide a project superintendent to be on site at all times of construction and for the full duration of the Agreement. Bidder also agrees that said superintendent is to be approved by Owner prior to construction.
- Work will reach Substantial Completion and Final Completion on or before the dates or within the number of calendar days indicated in the Notice of Advertisement to Bid.
- c. To accept the provisions of the Contract as to liquidated damages in the event of failure to complete the Work by the date stipulated in the Notice of Advertisement to Bid.
- 6. Additional Documents. The following documents are made a condition of and shall be submitted with this Proposal:
 - a. Bid Schedule:
 - b. Contractor's Schedule of Values;
 - c. Supplemental Equipment Rate Schedule;
 - d. Bidder's Schedule Letter;
 - e. Field Organization Chart;
 - f. List of Subcontractors:
 - g. Bid Bond in the amount of 5% of the Contract Price.
- 7. <u>Defined Terms.</u> The terms used in this Proposal which are defined in the Contract have the meanings assigned to them in the Contract, as the same may be amended.

[end of text - Bidder's signature on following page]

If BIDDER is a Corporation:
By: <u>Central Paving Co., Inc.</u> , an <u>S</u> corporation (Corporation Name)
By: Terry McEntee, President (Name of Person Authorized to Sign), (Title)
Phone No. 20% 338 · 0818
If BIDDER is a Limited Liability Company:
By: limited liability company (Limited Liability Company Name)
By: (Name of Person Authorized to Sign), (Title)
Phone No.
f BIDDER is a Partnership:
By: partnership (Firm Name)
By: (General Partner)
Phone No
f BIDDER is an Individual:
By: (Individual's Name)
Doing business as (if applicable):
Business address:
Phone No

BID SCHEDULE

for

HARRIS RANCH COMMUNITY INFRASTRUCTURE DISTRICT NO. 1 – HAYSTACK SUBDIVISION NO. 1 ROAD AND UTILITY IMPROVEMENTS

Bidder's lump-sum bid price for the construction of the Project in accordance with the Contract Documents. All Bidders shall complete this form. The total lump-sum bid price of this Bid Schedule will be used for the determination of the lowest responsible, responsive Bidder, and will be evaluated as a factor in the award of the Project.

Item No.	Description	Measured Unit	Amount
1.	H.R. CID No. 1 HAYSTACK SUBDIVISION NO. 1 ROAD AND UTILITY IMPROVEMENTS	L.S _c	\$ 2,069,994.29

Verification of Bid Schedule by Bidder:

By: Terry McEnter

NOTICE OF AWARD

for

HARRIS RANCH COMMUNITY INFRASTRUCTURE DISTRICT NO. 1 – HAYSTACK SUBDIVISION NO. 1 ROAD AND UTILITY IMPROVEMENTS

TO: Central Paving Co., Inc.

OWNER'S PROJECT NO.: 19045

You are notified that your Bid dated October 13, 2020 for the Project has been considered. You are the successful bidder for the Project and have been awarded the contract.

The lump-sum price for the Project is, as follows:

TOTAL LUMP SUM PRICE:

\$2,069,994.29

Two (2) sets of the drawings will be delivered separately or otherwise made available to you immediately.

ACCEPTANCE OF AWARD:

OWNER:

BARBER VALUEY DEVELOPMENT, INC.,

an Idaho corporation

By: D

Doug Fowler, President

Date:

CONTRACTOR:

Central Paving Co., Inc. an Idaho corporation

By: Terry McEntee, Authorized Agent

Date: 10-30-7020

Haystack Subdivision No. 1 Road and Utility Improvements (SW 12 & 13)

Project Completion Date: Februrary 24, 2022

Vendor	Reimbursement Amou			
Central Paving	\$	1,400,789.29		
RiveRidge	\$	62,428.82		
Total Reimbursement Due	Ś	1.463.218.11		

CONSTRUCTION CONTRACT (WITH GENERAL CONDITIONS)

for

HARRIS RANCH COMMUNITY INFRASTRUCTURE DISTRICT NO. 1 – HAYSTACK SUBDIVISION NO. 1 ROAD AND UTILITY IMPROVEMENTS

Dated:

October 30, 2020

between

Barber Vailey Development, Inc.

and

Central Paving Co., Inc.

CONSTRUCTION CONTRACT (WITH GENERAL CONDITIONS)

for

HARRIS RANCH COMMUNITY INFRASTRUCTURE DISTRICT NO. 1 – HAYSTACK SUBDIVISION NO. 1 ROAD AND UTILITY IMPROVEMENTS

This CONSTRUCTION CONTRACT (WITH GENERAL CONDITIONS) FOR HARRIS RANCH COMMUNITY INFRASTRUCTURE DISTRICT NO. 1 – HAYSTACK SUBDIVISION NO. 1 ROAD AND UTILITY IMPROVEMENTS (this "Contract") is made and entered into this 30°d day of October, 2020, by and between Barber Valley Development, Inc., an Idaho corporation ("Owner") and Central Paving Co., Inc. ("Contractor").

ARTICLE I GENERAL TERMS

1.01 <u>Contract Documents</u>. The "Contract Documents" consist of this Contract and the following documents as set forth on the table of contents of the "Project Manual" (defined below), each of which are incorporated herein by reference:

1.0: Bidding Information and Bidder's Proposal

- A. Notice of Advertisement to Bid and Instructions to Bidders;
- B. Addenda to Notice of Advertisement to Bid and Instructions to Bidders (if any);
- C. Bidder's Proposal;
- D. Bid Schedule:
- E. Contractor's Schedule of Values;
- F. Supplemental Equipment Rate Schedule:
- G. Bidder's Schedule Letter;
- H. Bidder's Field Organization Chart;
- I. Bidder's List of Subcontractors; and
- J. Bid Bond.

2.0: Additional Contract Documents

- A. [intentionally omitted];
- B. Form of Notice of Award:
- C. Form of Notice to Proceed:
- D. Payment Bond;
- E. Performance Bond;
- F. Dual Obligee Rider (If Required);
- G. Form of Contract Change Order;
- H. Form of Materials Lien Waiver;
- I. Form of Subcontractor's Lien Waiver;
- J. Form of Application for Payment;
- K. Form of Certificate for Substantial Completion; and
- L. Form of Contractor's Project Certification

3.0: Technical Specifications for All Improvements (the "Specifications")

4.0: Plans Approved for Construction by City of Boise City, Ada County Highway District, and Suez Water (the "Drawings" or "Plans")

The Contract Documents shall further include all Change Orders (defined below) issued and accepted by Owner in writing after the execution of this Contract. These form the agreement between the parties, and all are fully a part of the agreement as if attached to this Contract or repeated herein. The "**Project Manual**" is the bound documentary information prepared for bidding and constructing the Work, as described in this Paragraph 1.01.

1.02 Contract Sum. Contractor agrees to provide all labor, materials, supervision, equipment, machinery, tools, facilities, services, employee training and testing, scaffolding, hoisting facilities, shop drawings, storage and testing, security, transportation, disposal, the securing of all field dimensions necessary or required, cutting or patching of existing materials, permits and agreements and any other items necessary to timely and fully complete the entire construction required to be provided under the Contract Documents (hereinafter referred to as the "Work" or "Project") at real property located within Harris Ranch CID No. 1 and generally in the areas near the real property that is or shall be platted as Dallas Harris South Subdivision No. 1, located in the northwest ¼ of Section 29 of Township 3 North, Range 3 East, Boise Meridian, Boise, Ada County, Idaho. (hereinafter referred to as the "Premises" or "Site").

The Work includes and is the result of performing or providing all labor, services, and documentation necessary to produce such construction, and furnishing, installing, and incorporating all materials and equipment into such construction, all as required by the Contract Documents.

Owner agrees to pay Contractor (according to the terms and on the schedule identified in this Contract), for the complete and proper performance of the Work required by this Contract, the sum of \$2,069,994.29 inclusive of the applicable sales tax on all taxable items ("Contract Sum").

Without limitation, Contractor is responsible for all of the following charges and each shall be deemed included within the Contract Sum:

- (a) Permits, Fees, Notices, and Compliance with Other Laws. Contractor shall, unless specified to the contrary in the Project Manual, secure and pay for all governmental fees and licenses necessary for the proper execution and completion of the Work or required to be obtained by a general contractor by the local jurisdiction in which the Work is to be performed. All assessments or inspection fees as may be imposed by any municipal agency or utility company shall be paid by Contractor.
- (b) Employee Costs. Contractor is responsible for paying payroll costs for employees in the employ of Contractor, including, but not limited to, salaries and wages plus the costs of fringe benefits, which shall include social security contributions, unemployment, excise, and payroll taxes, workers' compensation, health and retirement benefits, bonuses, sick leave, vacation and holiday pay applicable thereto. The expenses of performing Work outside of regular working hours, on Saturday, Sunday, or legal holidays, shall be included in the above.
- (c) <u>Materials</u>. Contractor shall pay the cost of all materials and equipment furnished and incorporated in the Work, including costs of transportation and storage thereof, and suppliers' field services required in connection therewith. All cash discounts shall accrue to Contractor unless Owner deposits funds with Contractor with which to make payments, in which case the cash discounts shall accrue to Owner. All trade discounts, rebates, and refunds and returns from sale of surplus materials and equipment shall accrue to Owner, and Contractor shall make provisions so that they may be obtained.
- (d) <u>Subcontractor and Consultants</u>. Payments made by Contractor to subcontractors for Work performed by subcontractors. Costs of special consultants employed by Contractor for services specifically related to the Work, including, but not limited to, engineers, architects, testing laboratories, surveyors, attorneys, and accountants.

- (e) <u>Taxes</u>. Contractor shall pay all sales, consumer, use, and other similar taxes required to be paid by Contractor in accordance with such laws and regulations as may be applicable to the Project during the performance of the Work.
- (f) Charges for Patents or Processes. Contractor agrees to pay all fees, royalties, and claims for any patented invention, device, article, method, arrangement, copyright, trademark, or service mark that may be used upon or in any manner connected with the performance of the Work or any part thereof. Contractor shall forever save and hold harmless and fully indemnify Owner and its agents from all liabilities, damages, claims, recoveries, costs, and expenses (including attorney's fees) that may at any time arise as a result of any alleged infringement of any patent, copyright, trademark, or service mark in consequence of the installation or use of an item, method, process, or arrangement in the performance of the Work.
- 1.03 <u>Commencement and Completion</u>. Contractor shall commence performance of the Work after receipt of Notice to Proceed from Owner of the form attached as Item 2.0.C to the Project Documents and upon completion of all necessary pre-construction meetings with any governmental entity having jurisdiction (the "Contract Commencement Date"). Contractor shall thereafter diligently prosecute the Work.
 - (a) No Site Disturbance Prior to Contract Commencement Date. With the sole exception of inspections prior to the Contract Commencement Date that are authorized by Owner or Owner's Representative, no site disturbance shall occur at the Site prior to the date on which the "Contract Time" (defined below) commences to run. "Contract Time," as used herein, shall mean the time period for Contractor's Final Completion of the Work provided in this Paragraph, beginning with the Contract Commencement Date and including any extensions of such time periods pursuant to Paragraph 8.01.
 - (b) <u>Substantial Completion</u>. Contractor shall achieve Substantial Completion of the components of the Work by **June 25**, **2021**, subject to adjustments of the Contract Time as provided in Paragraph 8.01.

"Substantial Completion," as used herein, shall mean the completion of the Work in accordance with the Contract Documents, subject to certain minor finishing items or adjustments required to be made by Contractor and at such time as the Work can be safely used or occupied by the public for its intended purpose (despite some items remaining incomplete), accepted by Ada County Highway District ("ACHD") (as applicable), and provided that Contractor has obtained and delivered to Owner all permits and other consents from all governmental authorities, if any, that are required with respect to the Work.

Notwithstanding anything to the contrary contained herein, Owner and Contractor agree that Substantial Completion will only be extended by (i) acts of God, (ii) war, (iii) delays caused by ACHD, (iv) unreasonable delays caused by utilities, (v) or inclement weather. Any other request for extensions of time must be approved in writing by Owner.

Without limiting anything contained in this Section 1.03(b), Contractor shall achieve "Milestone One" in as defined in Section 01010 of the Specifications no later than April 16, 2021.

(c) <u>Final Completion</u>. Final Completion of the Work shall occur by **July 6**, **2021**, subject to adjustments of the Contract Time by Change Orders approved in writing by Owner.

"Final Completion" shall occur when all punch list items and any portion of the Work incomplete at the time of Substantial Completion have been completed in accordance with the requirements of the Contract Documents and to the satisfaction of Owner.

Owner shall certify the dates of Substantial Completion and Final Completion of the Work. Time is of the essence with respect to the Contract Documents and all obligations thereunder. Contractor shall carry on the Work and adhere to the Progress Schedule during all disputes or disagreements with Owner. No Work shall be delayed or postponed pending resolution of any disputes or disagreements, except as Owner and Contractor may agree in writing.

1.04 Owner's Representative; Engineer. For purposes of this Contract, "Owner's Representative" and "Engineer" shall refer to RiveRidge Engineering, Inc.

ARTICLE II

GENERAL REQUIREMENTS OF CONTRACTOR AND OWNER

- **2.01** <u>Contractor's Requirements.</u> Contractor accepts the relationship of trust and confidence established between it and Owner under this Contract and agrees, represents, and/or warrants, as follows:
 - (a) Financially Solvent. Contractor (and its subcontractors) are financially solvent, able to pay all debts as they mature, and possessed of sufficient working capital to complete the Work and perform all obligations hereunder;
 - (b) Authority. Contractor is authorized to do business in the State of Idaho and is properly licensed by all necessary governmental and public and quasi-public authorities having jurisdiction over Contractor and over the Work and the Project;
 - (c) Work Free of Liens. Contractor agrees to faithfully and fully perform the terms of this Contract, and shall complete the Work free and clear of all liens. Contractor will provide prompt written notice of actual and prospective claims of any liens or charges known to Contractor.
 - (d) Best Quality. All materials and equipment supplied as part of the work shall be new and all workmanship shall be of the best quality in strict accordance with this Contract. Contractor shall make no substitution of materials unless approved in advance, in writing, by Owner or its agent and in accordance with Paragraph 3.05. If required by Owner or its agent, Contractor shall furnish satisfactory evidence as to the kind and quality of materials used in the Work, including, whenever requested, sample of such materials.
 - (e) <u>Superintendent</u>. Contractor shall designate a project superintendent to be approved by Owner. Said superintendent will remain with the Project until Final Completion. The superintendent shall represent Contractor, and communications given to the superintendent shall be as binding as if given to Contractor. Contractor shall not change the superintendent without Owner's consent, which consent shall not be unreasonably withheld or delayed.
 - (f) Contractor Employees. Contractor shall, at all times during the progress of the Work, employ enough skilled workmen and have on hand and maintain an adequate supply of materials and equipment to complete the Work in accordance with the time schedule. The key members of Contractor's staff shall be persons agreed upon with Owner. Such key members of Contractor's staff shall not be changed without the written consent of Owner, unless such person becomes unable to perform any required duties due to death, disability, transfer, or termination of employment with Contractor. If a key member is no longer capable of performing, Owner and Contractor shall agree on a mutually acceptable substitute.
 - (g) <u>Subcontractors</u>. Contractor has notified Owner in connection with the bidding process (on Item 1.0.J of the Contract Documents) of the names of any subcontractors whom

Contractor intends to use on any or all parts of the Work. Contractor shall not employ any subcontractor, supplier, or other individual or entity, whether initially or as a replacement, against whom Owner may have a reasonable objection. Contractor agrees that it is fully responsible for the acts and omissions of its subcontractors and of persons either directly or indirectly employed by such subcontractors as Contractor is for the acts and omissions of a person directly employed by Contractor. Contractor shall require all subcontractors, suppliers, and other individuals or entitles performing or furnishing any of the Work to communicate with Owner's Representative through Contractor. All work performed by a subcontractor or supplier for Contractor will be pursuant to an appropriate agreement that specifically binds the subcontractor or supplier to the applicable terms and conditions of the Contract Documents. Subcontractors whose work is unsatisfactory to Owner or Owner's Representative, or are considered by Owner or Owner's Representative to be careless, incompetent, unskilled, or otherwise objectionable shall be dismissed from work under the Contract upon written notice by Owner or Owner's Representative.

- (h) Review of Site. Without limiting Paragraph 2.02(b) hereof, Contractor has satisfied itself, by its own independent investigation and study prior to submitting a bid for the Work, regarding all the conditions affecting the Site of the Work to be done and materials to be furnished; the meaning, intention, and sufficiency of the plans and specifications; and the conditions under which the Work is to be done; and has executed this Contract based solely on such investigation, study, and determination made by it, and not in reliance upon any representation by Owner or by anyone acting for or on behalf of Owner.
- (i) Review of Contract Documents. Before undertaking each part of the Work, Contractor has studied and compared the Contract Documents and checked and verified pertinent figures therein and applicable field measurements. Contractor shall promptly report in writing to Owner or Owner's Representative any conflict, error, ambiguity, or discrepancy that Contractor discovers or has actual knowledge of, and shall obtain a written interpretation from Owner's Representative before proceeding with any work affected thereby. If, during the performance of the Work, Contractor discovers any conflict, error, ambiguity, or discrepancy within the Contract Documents, or between the Contract Documents and any applicable law or regulation, standard, specification, manual, code, or instruction of any supplier, Contractor shall promptly report it to Owner's Representative in writing. Contractor will not proceed with the Work affected thereby (except in case of emergency) until Owner's Representative has responded to such discovery.
- (j) Emergencies. In emergencies affecting the safety or protection of persons or the Work or property at the Site or adjacent thereto, Contractor is obligated to act to prevent threatened damage, injury, or loss. Contractor shall give Owner and Owner's Representative prompt written notice if Contractor believes that any significant changes in the Work or variations from the Contract Documents have been caused thereby or are required as a result thereof. If Owner determines that a change in the Contract Documents is required because of action taken by Contractor in response to such an emergency, a Change Order will be issued.
- (k) <u>Cooperation with Owner re: Livestock.</u> Contractor acknowledges that certain cattle and other livestock may be kept in areas nearby or adjacent to the Site. Contractor agrees to coordinate with Owner to ensure that issues associated with such animals are adequately addressed, including ensuring that fencing closures are maintained.

2.02 Owner's Requirements.

(a) Availability of Lands. Owner shall furnish the Site. Contractor shall provide for all additional lands and access thereto that may be required for temporary construction facilities or storage of materials or equipment.

(b) Studies; Reference Points. No construction surveys are provided by Owner. Contractor will be provided with a copy of a geotechnical evaluation provided by STRATA, dated January 8, 2020 (ref. File: BOI19260A). Owner makes no representations or warranties with regard to such data, which is subject to Contractor's independent review, investigation, and confirmation. Without limiting Section 01050 of the Specifications, Owner shall provide reference points for construction that in Engineer's judgment are necessary to enable Contractor to proceed with the Work. Contractor shall be responsible for laying out the Work, shall protect and preserve the established reference points and property monuments, and shall make no changes or relocations without the prior written approval of Owner. Contractor shall report to Engineer and Owner's Representative whenever any reference point or property monument is lost or destroyed or requires relocation because of necessary changes in grades or locations, and shall be responsible for the accurate replacement or relocation of such reference points or property monuments by professionally qualified personnel at Contractor's sole cost and expense.

ARTICLE III

REQUIREMENTS PRIOR TO AND AT COMMENCEMENT OF CONSTRUCTION

3.01 Preliminary Exchanges.

- (a) Bonds. Contractor shall obtain and furnish performance and payment bonds, each in an amount equal to the Contract Price as security for the faithful performance and payment of all of Contractor's obligations under the Contract Documents. All bonds shall be in the form attached as Items 2.0.D and 2.0.E to the Project Documents. Such bonds shall be executed by sureties acceptable to Owner, in Owner's reasonable discretion. Contractor shall deliver to Owner such bonds as Contractor may be required to furnish at the time Contractor delivers the executed counterpart of this Contract to Owner. These bonds shall remain in effect until two years after the date when final payment becomes due.
 - If the surety on any bond furnished by Contractor is declared bankrupt or becomes insolvent or its right to do business is terminated in the State of Idaho, Contractor shall promptly notify Owner and shall, within 20 days after the event giving rise to such notification, provide another acceptable bond and surety.
- (b) Evidence of Insurance. Before any Work at the Site is started, Contractor shall deliver to Owner certificates of insurance (and other evidence of insurance that either party or any additional insured may reasonably request) that Contractor is required to provide and maintain in accordance with this Contract.
- (c) <u>Copies.</u> Owner shall furnish Contractor up to two printed or hard copies of the Project Manual. Additional copies will be furnished upon request at the cost of reproduction.
- 3.02 <u>Preconstruction Conference</u>. Without limiting Section 01200 of the Specifications, before any Work at the Site is started, a conference attended by Owner, Owner's Representative, Engineer, and any others identified by Owner will be held with Contractor to establish a working understanding among the parties and to discuss procedures and processes, including procedures for handling Shop Drawings and other submittals, processing applications for payment, and maintaining required records. Owner's Representative is designated to act on behalf of Owner in connection with the preconstruction conference. At such conference, Contractor shall designate, in writing, a specific individual to act as its authorized representative with regard to this Contract if said individual is anyone other than the superintendent approved by Owner.
 - 3.03 Schedules. The schedules required pursuant to this Contract will be provided and

reviewed in accordance with this Paragraph:

- (a) Preliminary Schedules. Within ten days of the effective date of this Agreement, Contractor shall prepare a "Progress Schedule" with any modifications from Item 1.0.G of the Bid Documents to be approved by Owner and Owner's Representative, in their sole but reasonable discretion. At such time, Contractor shall also provide a "Schedule of Submittals" (detailing required submittals and the time requirements to support scheduled performance of related construction activities) and the "Schedule of Values" (Item 1.0.E of the Bid Documents).
- (b) Initial Acceptance of Schedules. At least 10 days before submission of the first "Application for Payment" on the form attached as Item 2.0.J of the Bid Documents, Owner, Owner's Representative, Engineer and Contractor will meet to review the schedules identified in Paragraph 3.03(a). No progress payments will be made to Contractor until an acceptable Progress Schedule is submitted to Owner or Owner's Representative. Contractor's Progress Schedule will be acceptable to Owner if it provides an orderly progression of the Work to completion within the Contract Times. Contractor's Schedule of Submittals will be acceptable to Owner if it provides a workable arrangement for reviewing and processing the required submittals. Contractor's Schedule of Values will be acceptable to Owner if it conforms to Item 1.0.E of the Bid Documents. Upon acceptance, each of the above schedules become part of this Contract.
- (c) Weekly Meetings; Progress Schedule. Contractor shall adhere to the Progress Schedule and will meet weekly with Owner's Representative to address any issues encountered in the performance of the Work. In the event Contractor seeks to adjust the Progress Schedule, Contractor shall submit to Owner or Owner's Representative proposed adjustments in the Progress Schedule that will not result in changing the Contract Times. Proposed adjustments in the Progress Schedule that will change the Contract Times may only be made by a Change Order and must be approved by Owner.
- (d) <u>Delay.</u> If Contractor is behind the Schedule to such an extent that Contractor will be unable to meet the Substantial Completion date or any major milestone dates listed in the Schedule, Contractor shall employ such additional forces, obtain such additional equipment, employ such additional supervision, and pay such additional overtime wages as may be required to place the progress of the Work back on schedule in accordance with the Schedule, all at Contractor's expense. Failure to do so within five (5) days following written demand therefor shall constitute a default by Contractor hereunder.
- 3.04 Shop Drawings and Samples. Contractor shall submit Shop Drawings and Samples to Engineer for review and approval by Owner's Representative in accordance with the accepted Schedule of Submittals. For purposes of this Contract, "Shop Drawings" include all drawings, diagrams, illustrations, schedules, and other data or information that are specifically prepared or assembled by or for Contractor and submitted by Contractor to illustrate some portion of the Work. For purposes of this Contract, "Samples" include physical examples of materials, equipment, or workmanship that are representative of some portion of the Work and which establish the standards by which such portion of the Work will be judged.

Each submittal will be identified as Engineer may require.

- (a) Shop Drawings:
 - (i) Submit number of copies specified in the Specifications.
 - (ii) Data shown on the Shop Drawings will be complete with respect to quantities, dimensions, specified performance and design criteria, materials, and similar data to

show Engineer the services, materials, and equipment Contractor proposes to provide and to enable Engineer to review the information for the limited purposes required by Paragraph 3.04(e).

(b) Samples:

- (i) Submit number of Samples specified in the Specifications.
- (ii) Clearly identify each Sample as to material, Supplier, pertinent data such as catalog numbers, the use for which intended and other data as Engineer may require to enable Engineer to review the submittal for the limited purposes required by Paragraph 3.04(e).
- (c) Expense of Contractor. Where a Shop Drawing or Sample is required by the Contract Documents or the Schedule of Submittals, any related Work performed in connection with Engineer's review and approval of the pertinent submittal will be at the sole expense and responsibility of Contractor.
- (d) <u>Submittal Procedures.</u> Before submitting each Shop Drawing or Sample, Contractor shall have:
 - (i) reviewed and coordinated each Shop Drawing or Sample with other Shop Drawings and Samples and with the requirements of the Work and the Contract Documents;
 - (ii) determined and verified all field measurements, quantities, dimensions, specified performance and design criteria, installation requirements, materials, catalog numbers, and similar information with respect thereto;
 - (iii) determined and verified the suitability of all materials offered with respect to the indicated application, fabrication, shipping, handling, storage, assembly, and installation pertaining to the performance of the Work; and
 - (iv) determined and verified all information relative to Contractor's responsibilities for means, methods, techniques, sequences, and procedures of construction, and safety precautions and programs incident thereto.

Each submittal shall bear a stamp or specific written certification that Contractor has satisfied Contractor's obligations under the Contract Documents with respect to Contractor's review and approval of that submittal.

With each submittal, Contractor shall give Engineer specific written notice of any variations that the Shop Drawing or Sample may have from the requirements of the Contract Documents. This notice shall be by written communication separate from the Shop Drawings or Sample submittal. In addition, Contractor shall include a specific notation of each such variation on each Shop Drawing or Sample submitted to Engineer for review and approval.

(e) Engineer's Review. Engineer will provide timely review of Shop Drawings and Samples in accordance with the Schedule of Submittals acceptable to Engineer. Engineer's review and approval will be only to determine if the items covered by the submittals will, after installation or incorporation in the Work, conform to the information given in the Contract Documents and be compatible with the design concept of the completed Project as a functioning whole as indicated by the Contract Documents.

Engineer's review and Owner's Representative's approval will not extend to means, methods, techniques, sequences, or procedures of construction (except where a particular means, method, technique, sequence, or procedure of construction is

specifically and expressly called for by the Contract Documents) or to safety precautions or programs incident thereto. The review and approval of a separate item as such will not indicate approval of the assembly in which the item functions.

Engineer's review and Owner's Representative's approval shall not relieve Contractor from responsibility for any variation from the requirements of the Contract Documents unless Contractor has complied with the requirements of Paragraph 3.04(d) and Engineer has given written approval of each such variation by specific written notation thereof incorporated in or accompanying the Shop Drawing or Sample. Engineer's review and approval shall not relieve Contractor from responsibility for complying with the requirements of this Paragraph 3.04(d).

- (f) Resubmittal Procedures. Contractor shall make corrections required by Engineer and shall return the required number of corrected copies of Shop Drawings and submit, as required, new Samples for review and approval. Contractor shall direct specific attention in writing to revisions other than the corrections called for by Engineer on previous submittals.
- 3.05 <u>Substitutes and "Or-Equals"</u>. Whenever an item of material or equipment is specified or described in the Contract Documents by using the name of a proprietary item or the name of a particular Supplier, the specification or description is intended to establish the type, function, appearance, and quality required. Unless the specification or description contains or is followed by words reading that no like, equivalent, or "or-equal" item or no substitution is permitted, other items of material or equipment or material or equipment of other suppliers may be submitted to Engineer and Owner for review under the circumstances described below.
 - (a) "Or-Equal" Items. If an item of material or equipment proposed by Contractor is functionally equal to that named and sufficiently similar so that no change in related Work will be required, it may be considered by Engineer as an "or-equal" item, in which case review and approval of the proposed item may, in Engineer's discretion and with approval of Owner, be accomplished without compliance with some or all of the requirements for approval of proposed substitute items.

For the purposes of this Paragraph, a proposed item of material or equipment will be considered functionally equal to an item so named if:

- (i) in the exercise of reasonable judgment Engineer determines that: (i) it is at least equal in materials of construction, quality, durability, appearance, strength, and design characteristics; (ii) it will reliably perform at least equally well the function and achieve the results imposed by the design concept of the completed Project as a functioning whole; and (iii) it has a proven record of performance and availability of responsive service;
- (ii) Contractor certifies that, if approved and incorporated into the Work: (i) there will be no increase in cost to Owner or increase in Contract Times; and (ii) it will conform substantially to the detailed requirements of the item named in the Contract Documents; and
- (iii) Owner agrees to the "or-equal" item.
- (b) Substitute Items. If an item of material or equipment proposed by Contractor does not qualify as an "or-equal" item, it will be considered a proposed substitute item. Contractor shall submit sufficient information as provided below to allow Engineer to determine (with Owner and Owner's Representative's approval) if the item of material or equipment proposed is essentially equivalent to that named and an acceptable substitute therefor. Requests for review of proposed substitute items of material or equipment will not be accepted by Engineer from anyone other than Contractor.

- Contractor shall make written application to Engineer for review of a proposed substitute item of material or equipment that Contractor seeks to furnish or use. The application:
- (i) shall certify that the proposed substitute item will (i) perform adequately the functions and achieve the results called for by the general design, (ii) be similar in substance to that specified, and (iii) be suited to the same use as that specified;
- (ii) will state: (i) the extent, if any, to which the use of the proposed substitute item will prejudice Contractor's achievement of Substantial Completion on time; (ii) whether use of the proposed substitute item in the Work will require a change in any of the Contract Documents (or in the provisions of any other direct contract with Owner for other work on the Project) to adapt the design to the proposed substitute item; and (iii) whether incorporation or use of the proposed substitute item in connection with the Work is subject to payment of any license fee or royalty;
- (iii) will identify: (i) all variations of the proposed substitute item from that specified, and (ii) available engineering, sales, maintenance, repair, and replacement services; and
- (iv) shall contain an itemized estimate of all costs or credits that will result directly or indirectly from use of such substitute item, including costs of redesign and claims of other contractors affected by any resulting change.
- (c) <u>Substitute Construction Methods or Procedures</u>. If a specific means, method, technique, sequence, or procedure of construction is expressly required by the Contract Documents, Contractor may furnish or utilize a substitute means, method, technique, sequence, or procedure of construction approved by Engineer. Contractor shall submit sufficient information to allow Engineer, with Owner or Owner's Representative's approval, to determine that the substitute proposed is equivalent to that expressly called for by the Contract Documents.
- (d) Special Guarantee. Owner, Owner's Representative, or Engineer may require Contractor to furnish, at Contractor's expense, a special performance guarantee or other surety with respect to any substitute.
- (e) Reimbursement. Contractor shall reimburse Owner for the reasonable charges of Engineer for evaluating each such proposed substitute and for any required changes in the Contract Documents to permit a substitute. Contractor shall provide all data in support of any proposed substitute or "or-equal" at Contractor's sole expense.

ARTICLE IV

CONTRACTOR OVERSIGHT, SUBCONTRACT, AND SAFETY REQUIREMENTS

4.01 <u>Supervision and Construction Oversight by Contractor</u>. Without limiting any other requirements imposed in this Contract, Contractor shall supervise and direct the Work, using its best skill and attention. All Work performed by Contractor shall be under the direction of a competent supervisor on the Premises employed by Contractor. Contractor shall provide, at Contractor's sole cost, a job trailer that will remain at the Site until Substantial Completion. Contractor shall be solely responsible for all construction means, methods, techniques, sequences and procedures, and for coordinating all portions of the Work under this Contract and following any special considerations specified by Owner in conformance with the Scope of Work.

In addition to the foregoing and those items set forth in Article II hereof:

(a) Compliance with Laws. Contractor shall, at its expense, give all necessary notices and cause all work done and materials and equipment furnished pursuant to the Contract Documents to comply strictly with all applicable local, state and federal laws, ordinances, rules, regulations, codes and orders (hereinafter referred to collectively as "Legal Requirements"). Further, Contractor covenants and warrants that it shall observe and comply strictly with all Legal Requirements in connection with the performance of the Work or otherwise. Contractor also shall take and observe all necessary measures and precautions for the safety and protection of all property and persons in connection with the performance of the Work. The Work shall be done, furnished and performed to the satisfaction of Owner and any governmental or other authorities concerned and their respective representatives, at all times, shall have access to the Work for any lawful purpose, including inspection.

- (i) Contractor and Owner shall file the Environmental Protection Agency (EPA) Construction General Permit (CGP) separately. Contractor will file a Notice of Intent (NOI) and develop and implement an approved Storm Water Pollution Prevention Plan (SWPPP) prior to commencement or construction, and Contractor shall not file a Notice of Termination (NOT) with the EPA until authorized in writing by Owner. Authorization for Contractor to file the NOT will be granted by Owner when the area subject to the CGP has achieved final stabilization as defined in the CGP. Contractor shall pay all fees and costs associated with such permitting.
- (b) <u>Discipline and Good Order</u>. Contractor shall at all times enforce strict discipline and good order among its employees and shall not employ on the Work any unfit person or anyone nonskilled in the task assigned to him. Contractor shall be solely responsible for the care, custody, control, and direction of all persons performing the Work, and shall have sole responsibility for the employment, discharge, and direction of such persons. Contractor shall not permit condone, or tolerate the use of alcohol or illegal drugs or controlled substances on the Site during working hours, including breaks or meal periods.
- (c) <u>Use of Site</u>. Contractor shall confine construction equipment, storage of materials and equipment, and the operations of workers to the Site and other areas permitted by law, and shall not unreasonably encumber the Site and other areas with construction equipment or other materials or equipment. Contractor shall assume full responsibility for any damage to any such land or area, or to the owner or occupant thereof, or of any adjacent land or areas resulting from the performance of the Work.
- (d) Maintenance of Site. Contractor shall clean up the Premises related to the Work in a thorough and workmanlike manner to the satisfaction of Owner and Owner's Representative wherever necessary during the progress of the Work and when requested by Owner or Owner's Representative. Contractor shall take all necessary precautions to keep the Premises free of safety hazards and shall protect all materials, equipment, and completed (or partially completed) Work from loss and damage, including theft and damage by weather and shall correct any damage or disfigurement to contiguous property resulting from the Work. Contractor acknowledges the dangers of uncontrolled fire on the Site and shall not permit the burning of any materials on Site without permission of Owner. Prior to Substantial Completion of the Work, Contractor shall clean the Site and the Work and make it ready for utilization by Owner. At the completion of the Work, Contractor shall remove from the Site all tools, construction equipment and machinery, and surplus materials and shall restore to original condition all property not designated for alteration by the Contract Documents.
- (e) <u>Safety</u>. Contractor shall be solely responsible for initiating, maintaining, and supervising all safety precautions and programs in connection with the Work, and shall provide necessary protection to prevent damage, injury, or loss to all persons on the Site or who may be affected by the Work, all the Work and materials and equipment to be incorporated therein, whether in storage on or off the Site; and other property at the Site or adjacent thereto, including trees, shrubs, lawns, walks, pavements, roadways,

structures, utilities, and underground facilities not designated for removal, relocation, or replacement in the course of construction. Contractor shall comply with all applicable laws and regulations of any public body having jurisdiction for the safety of persons or property or to protect them from damage, injury, or loss. Vehicles shall be operated and maintained in a safe condition. Equipment shall only be operated by properly trained personnel. Excavations shall not be left overnight without proper barricades and satisfactory warning devices.

(f) <u>Emergencies</u>. In emergencies affecting the safety or protection of persons or the Work or property at the Site or adjacent thereto, Contractor is obligated to act to prevent threatened damage, injury, or loss. Contractor shall give Owner and Owner's Representative prompt written notice if Contractor believes that any significant changes in the Work or variations from the Contract Documents have been caused thereby or are required as a result thereof. If Owner determines in Owner's sole but reasonable discretion, that a change in the Contract Documents is required because of action taken by Contractor in response to such an emergency, a Change Order will be issued.

4.02 Subcontracts.

- (a) Prior to commencement of the Work, Contractor shall furnish Owner with any updates to Contractor's List of Subcontractors (Item 1.0.I of the Contract Documents). If requested by Owner, Contractor will furnish Owner with a copy of all written agreements (including subcontracts and purchase orders) therefor and the terms of all verbal agreements therefor.
- (b) If applicable, all subcontracts shall contain unit prices and any other feasible formula for use in the determination of the cost of changes in the Work.
- (c) Contractor agrees to hold all subcontractors, including all persons directly or indirectly employed by them, responsible for any damages due to breach of contract or any negligent act and to diligently endeavor to effect recoveries of such damages.
- (d) Owner shall be deemed to be a third party beneficiary of each subcontract and may, if Owner elects, require (following Contractor's default under this Contract or Owner's termination of this Contract) that the subcontractor perform all of the then unperformed duties and obligations of such subcontractor thereunder for the benefit of Owner (rather than Contractor); however, in the event that Owner requires any such performance by a subcontractor for the direct benefit of Owner, then Owner shall be bound and obligated to pay such subcontractor for all work done by such subcontractor (1) to date (to-wit: the reasonable value of that portion of the subcontract performed by such subcontractor) and (2) subsequent to the date that Owner elects to invoke such rights. Owner's liability in this connection, however, is not to exceed the amount obtained by subtracting from the subcontract price the total of all sums paid by Contractor to Subcontractor prior to Owner invoking its rights hereunder with respect to direct performance by subcontractor for Owner. In the event that Owner elects to invoke such rights, Owner shall give written notice of such election to Contractor and such subcontractor.
- **4.03** Quality Control. Contractor agrees to provide quality control and process control testing following the Idaho Standards for Public Works Construction, 2015, and as further described in Section 01400 of the Specifications.

ARTICLE V SITE CONDITIONS AND RELATED ISSUES

5.01 <u>Differing Subsurface or Physical Conditions</u>. As provided in Paragraph 2.01(h),

above, Contractor has acquainted itself with all existing conditions and limitations affecting the Work, including, without limitation, all property lines, utility locations, existing improvements, elevations, and Site and local conditions, as applicable to the Work. Claims for additional compensation or extensions of time because of the failure of Contractor to familiarize itself with conditions at the Site will not be allowed.

It is not intended by this provision to preclude claims for additional compensation or extension of time for conditions that would not reasonably be foreseen from a diligent inspection of the Site and review of all Site tests and studies in the possession of Contractor. If conditions are encountered by Contractor at the Site which are (1) subsurface or otherwise concealed physical conditions that differ materially from those indicated in the Contract Documents or (2) unknown physical conditions of an unusual nature that differ materially from those ordinarily found to exist and generally recognized as inherent in construction activities of the character provided for in the Contract Documents, then notice shall be given to Owner promptly before the conditions are disturbed and in no event later than three (3) days after first observance of the conditions. Owner will promptly investigate such conditions and, if they differ materially and cause an increase or decrease in Contractor's cost of, or time required for, performance of any part of the Work, will recommend an equitable adjustment in the Contract Sum or Contract Time, or both. If Owner determines that there are conditions at the Site as described above, and that no change in the terms of the Contract Documents is justified, Owner shall so notify Contractor in writing, stating the reasons therefor. Claims by Contractor in opposition to such determination must be made within twenty-one (21) days after Owner has given notice of the decision.

No adjustment in the Contract Time or Contract Sum shall be permitted, however, in connection with a concealed or unknown condition which does not differ materially from those conditions disclosed or which reasonably should have been disclosed by (a) Contractor's inspections, tests, reviews and preconstruction services for this Project, including any tests made by or in the possession of Contractor, or (b) inspections, tests, reviews and preconstruction services that Contractor negligently failed to request in connection with the Project. Nor shall an adjustment be permitted if: (a) Contractor knew of the existence of such conditions at the time Contractor made a final commitment to Owner with respect to Contract Price and Contract Times by the submission of a Bid or becoming bound under this Contract; or (b) the existence of such condition could reasonably have been discovered or revealed as a result of any examination, investigation, exploration, test, or study of the Site and contiguous areas; or (c) Contractor failed to give the written notice as required by this Paragraph.

5.02 Underground Facilities. "Underground Facilities" include all underground pipelines, conduits, ducts, cables, wires, manholes, vaults, tanks, tunnels, or other such facilities or attachments, and any encasements containing such facilities, including those that convey electricity, gases, steam, liquid petroleum products, telephone or other communications, cable television, water, wastewater, storm water, other liquids or chemicals, or traffic or other control systems.

With regard to such Underground Facilities, the parties agree, as follows:

- (a) Shown or Indicated Underground Facilities. The information and data shown or indicated in the Contract Documents with respect to existing Underground Facilities at or contiguous to the Site is based on information and data furnished to Owner or Engineer by the owners of such Underground Facilities, including Owner, or by others. Neither Owner nor Engineer shall be responsible for the accuracy or completeness of any such information or data provided by others; and the cost of all of the following will be included in the Contract Price, and Contractor shall have full responsibility for: (a) reviewing and checking all such information and data; (b) locating all Underground Facilities shown or indicated in the Contract Documents; (c) coordination of the Work with the owners of such Underground Facilities, including Owner, during construction; and (d) the safety and protection of all such Underground Facilities and repairing any damage thereto resulting from the Work
- (b) Not Shown or Indicated Underground Facilities. If an Underground Facility is uncovered or revealed at or contiguous to the Site that was not shown or indicated, or not shown or

indicated with reasonable accuracy in the Contract Documents, Contractor shall, promptly after becoming aware thereof and before further disturbing conditions affected thereby or performing any Work in connection therewith (except in an emergency as required by Paragraph 4.01 (f)) identify the owner of such Underground Facility and give written notice to that owner and to Owner's Representative and Engineer. Engineer will promptly review the Underground Facility and, in consultation with Owner, determine the extent, if any, to which a change is required in the Contract Documents to reflect and document the consequences of the existence or location of the Underground Facility. During such time, Contractor shall be responsible for the safety and protection of such Underground Facility. If Engineer, in consultation and with approval of Owner, concludes that a change in the Contract Documents is required, a Change Order will be issued to reflect and document such consequences. An equitable adjustment shall be made in the Contract Price or Contract Times, or both, to the extent that they are attributable to the existence or location of any Underground Facility that was not shown or indicated or not shown or indicated with reasonable accuracy in the Contract Documents and that Contractor did not know of and could not reasonably have been expected to be aware of or to have anticipated.

- 5.03 <u>Hazardous Environmental Conditions at Site</u>. For purposes of this Contract, a "Hazardous Environmental Condition" shall include the presence at the Site of asbestos, polychlorinated biphenyls, petroleum (including crude oil or any fraction thereof that is liquid at standard conditions of temperature and pressure (60 degrees Fahrenheit and 14.7 pounds per square inch absolute), such as oil, petroleum, fuel oil, oil sludge, oil refuse, gasoline, and oil mixed with other non "Hazardous Waste" (as defined in Section 1004 of the Solid Waste Disposal Act (42 USC Section 6903) as amended from time to time) Hazardous Waste, or radioactive material (source, special nuclear, or byproduct material as defined by the Atomic Energy Act of 1954 (42 USC Section 2011 et seq.) as amended from time to time) in such quantities or circumstances that may present a substantial danger to persons or property exposed thereto.
 - (a) Reports or Drawings. No Hazardous Environmental Conditions have been identified at the Site and no reports or drawings related to Hazardous Environmental Conditions have been provided by Owner.
 - (b) <u>Contractor Responsibility</u>. Contractor shall be responsible for a Hazardous Environmental Condition created with any materials brought to the Site by Contractor, Contractor's subcontractors or suppliers, or anyone else for whom Contractor is responsible.
 - (c) Encountered Hazardous Environmental Conditions. If Contractor encounters a Hazardous Environmental Condition or if Contractor or anyone for whom Contractor is responsible creates a Hazardous Environmental Condition, Contractor shall immediately: (i) secure or otherwise isolate such condition; (ii) stop all Work in connection with such condition and in any area affected thereby (except in an emergency as required by Paragraph 4.01 (f)); and (iii) notify Owner's Representative and Engineer (and promptly thereafter confirm such notice in writing). Owner shall promptly consult with Engineer or Owner's Representative concerning the necessity for Owner to retain a qualified expert to evaluate such condition or take corrective action, if any. Promptly after consulting with Engineer or Owner's Representative, Owner shall take such actions as are necessary to permit Owner to timely obtain required permits and provide Contractor the written notice required by this Paragraph.

Contractor shall not be required to resume Work in connection with such condition or in any affected area until after Owner has obtained any required permits related thereto and delivered written notice to Contractor: (i) specifying that such condition and any affected area is or has been rendered safe for the resumption of Work; or (ii) specifying any special conditions under which such Work may be resumed safely.

If after receipt of such written notice Contractor does not agree to resume such Work based on a reasonable belief it is unsafe, or does not agree to resume such Work under such special conditions, then Owner may order the portion of the Work that is in the area affected by such condition to be deleted from the Work. Owner may have such deleted portion of the Work performed by Owner's own forces or others.

(d) Indemnification. To the fullest extent permitted by Laws and Regulations, Owner shall indemnify and hold harmless Contractor, Contractor's subcontractors, and Engineer, and the officers, directors, members, partners, employees, agents, consultants, and subcontractors of each and any of them from and against all claims, costs, losses, and damages (including but not limited to all fees and charges of engineers, architects, attorneys, and other professionals and all court or arbitration or other dispute resolution costs) arising out of or relating to a Hazardous Environmental Condition, provided that such Hazardous Environmental Condition: (i) was not shown or indicated in the Drawings or Specifications or identified in the Contract Documents to be included within the scope of the Work, and (ii) was not created by Contractor or by anyone for whom Contractor is responsible. Nothing in this Paragraph shall obligate Owner to indemnify any individual or entity from and against the consequences of that individual's or entity's own negligence.

To the fullest extent permitted by Laws and Regulations, Contractor shall indemnify and hold harmless Owner, Owner's Representative, and Engineer, and the officers, directors, members, partners, employees, agents, consultants, and subcontractors of each and any of them from and against all claims, costs, losses, and damages (including but not limited to all fees and charges of engineers, architects, attorneys, and other professionals and all court or arbitration or other dispute resolution costs) arising out of or relating to a Hazardous Environmental Condition created by Contractor or by anyone for whom Contractor is responsible. Nothing in this Paragraph 4.06.H shall obligate Contractor to indemnify any individual or entity from and against the consequences of that individual's or entity's own negligence.

The provisions of Paragraphs 5.01 and 5.02 above do not apply to Hazardous Environmental Conditions uncovered or revealed at the Site.

ARTICLE VI RISK OF LOSS; INSURANCE; INDEMNIFICATION

- Risk of Loss. Until such time as the Completion Date has been reached, all punch-list items have been accomplished, Contractor bears all risk of loss related to the Work constructed pursuant to this Agreement. Contractor shall purchase and maintain property insurance upon the Work at the Site in the amount of the full replacement cost thereof and shall be written on a Builder's Risk "all-risk" policy form that shall at least include insurance for physical loss or damage to the Work, temporary buildings, falsework, and materials and equipment in transit, and shall insure against at least the following perils or causes of loss: fire, lightning, extended coverage, theft, vandalism and malicious mischief, earthquake, collapse, debris removal, demolition occasioned by enforcement of any laws or regulations, water damage (other than that caused by flood), and such other perils or causes of loss as may be specifically required by Owner. Such policies shall include expenses incurred in the repair or replacement of any insured property (including, but not limited to, fees and charges of engineers and architects). Such policies shall cover materials and equipment stored at the Site or at another location designated by Contractor. Such policies shall allow for partial utilization of the Work by Owner and shall include testing and startup. All such policies shall be maintained in effect until final payment is made unless otherwise agreed to in writing by Owner and Contractor.
- **6.02** Other Contractor Insurance. Contractor shall purchase, at its sole cost and expense, from and maintain in a company or companies lawfully authorized to do business in the jurisdiction in which the Site is located such insurance as will protect Contractor from claims set forth below that arise

out of or result from Contractor's operations under the Contract and for which Contractor may be legally liable, whether such operations be by Contractor or by a subcontractor or by anyone directly or indirectly employed by any of them, or by anyone for whose acts any of them may be liable: (i) claims under workers' compensation, disability benefits, and other similar employee benefit acts; (ii) claims for damages because of bodily injury, occupational sickness or disease, or death of Contractor's employees; (iii) claims for damages because of bodily injury, sickness or disease, or death of any person other than Contractor's employees; (iv) claims for damages insured by reasonably available personal injury liability coverage which are sustained: (1) by any person as a result of an offense directly or indirectly related to the employment of such person by Contractor, or (2) by any other person for any other reason; (v) claims for damages, other than to the Work itself, because of injury to or destruction of tangible property wherever located, including loss of use resulting therefrom; and (vi) claims for damages because of bodily injury or death of any person or property damage arising out of the ownership, maintenance or use of any motor vehicle.

The insurance required by this Paragraph shall be written for not less than the limits of liability specified in **Exhibit A** or required by law, whichever is greater. The policies of insurance required by this Paragraph shall:

- (a) With respect to insurance required by (iii) through (vi) inclusive, be written on an occurrence basis, include as "Additional Insureds" (subject to any customary exclusion regarding professional liability) Owner, Owner's Representative, Engineer, LeNir Ltd., the Harris Family Limited Partnership, and ACHD, and include coverage for the respective officers, directors, members, partners, employees, agents, consultants, and subcontractors of each and any of all such additional insureds, and the insurance afforded to these additional insureds shall provide primary coverage for all claims covered thereby;
- (b) include at least the specific coverages and be written for not less than the limits of liability provided in **Exhibit A** or required by laws, whichever is greater;
- (c) include contractual liability insurance covering Contractor's indemnity obligations under Paragraph 6.05;
- (d) contain a provision or endorsement that the coverage afforded will not be canceled, materially changed or renewal refused until at least 30 days prior written notice has been given to Owner and Contractor and to each other Additional Insured;
- (e) remain in effect at least until final payment and at all times thereafter when Contractor may be correcting, removing, or replacing defective Work; and
- (f) include completed operations coverage: (i) Such insurance shall remain in effect for two years after final payment; and (ii) Contractor shall furnish Owner and each other Additional Insured evidence satisfactory to Owner and any such Additional Insured of continuation of such insurance at final payment and two (2) years thereafter.

Certificates of insurance for all policies required under this Article that are acceptable to Owner shall be filed with Owner prior to commencement of the Work. These certificates and the insurance policies required by this Paragraph shall contain a provision that coverages afforded under the policies will not be canceled or allowed to expire until at least 30 days' prior written notice has been given to Owner. If any of the foregoing insurance coverages are required to remain in force after final payment and are reasonably available, an additional certificate evidencing continuation of such coverage shall be submitted with the final Application for Payment.

The insurance and insurance limits required herein shall not be deemed a limitation on Contractor's liability under the indemnities granted to Owner in the Contract Documents.

6.03 [intentionally omitted].

6.04 General Insurance Provisions.

(a) Waiver of Rights. Owner and Contractor intend that all policies purchased in accordance with Paragraph 6.01 and 6.02 will protect Owner, Owner's Representative, Contractor, subcontractors, and Engineer, and all Additional Insureds (and the officers, directors, members, partners, employees, agents, consultants, and subcontractors of each and any of them) in such policies and will provide primary coverage for all losses and damages caused by the perils or causes of loss covered thereby. All such policies shall contain provisions to the effect that in the event of payment of any loss or damage the insurers will have no rights of recovery against any of the insureds or loss payees thereunder.

Owner and Contractor waive all rights against each other and their respective officers, directors, members, partners, employees, agents, consultants and subcontractors of each and any of them for all losses and damages caused by, arising out of or resulting from any of the perils or causes of loss covered by such policies and any other property insurance applicable to the Work; and, in addition, waive all such rights against subcontractors and Engineer, and all other individuals or entities identified as loss payees (and the officers, directors, members, partners, employees, agents, consultants, and subcontractors of each and any of them) under such policies for losses and damages so caused. None of the above waivers shall extend to the rights that any party making such waiver may have to the proceeds of insurance held by Owner as trustee or otherwise payable under any policy so issued.

(b) Receipt and Application of Insurance Proceeds. Any insured loss under the policies required under this Contract will be adjusted with Owner and made payable to Owner as fiduciary for the loss payees, as their interests may appear, subject to the requirements of any applicable mortgage clause. Owner shall deposit in a separate account any money so received and shall distribute it in accordance with such agreement as the parties may reach. If no other special agreement is reached, the damaged Work shall be repaired or replaced, the moneys so received applied on account thereof, and the Work and the cost thereof covered by an appropriate Change Order.

Owner as fiduciary shall have power to adjust and settle any loss with the insurers unless one of the parties in interest shall object in writing within 15 days after the occurrence of loss to Owner's exercise of this power. If such objection be made, Owner as fiduciary shall make settlement with the insurers in accordance with such agreement as the parties in interest may reach. If no such agreement among the parties in interest is reached, Owner as fiduciary shall adjust and settle the loss with the insurers.

Indemnification. To the fullest extent permitted by Laws and Regulations, Contractor shall indemnify and defend Owner, Owner's Representative, Engineer, LeNir Ltd., the Harris Family Limited Partnership, and ACHD from any and all claims by third persons arising out of the performance of the Contract, including their respective agents, officers, directors, and employees (collectively, the "Indemnitees") (with counsel satisfactory to Owner) and hold Indemnitees harmless from all liability claims, demands, causes of action and costs of every kind and nature, including attorneys' fees, arising out of injury to, or death of, persons (including Contractor's and any Subcontractor's employees), and damage to any and all property, including loss of use thereof, occurring incident to or resulting wholly or in part from, directly or indirectly, any negligent or willful act or omission by Contractor in connection with or growing out of the Contract Documents or the performance by Contractor of the Work. The indemnification obligation of Contractor under this Paragraph shall include damage wrongfully caused by Contractor to a separate contractor or property of any separate contractor. Contractor shall promptly attempt to settle any such disputes.

Contractor hereby releases and discharges the Indemnitees from liability for, and assumes the risk of loss of or damage to, equipment or other property of Contractor, and hereby indemnifies the Indemnitees against all claims and liabilities for loss of or damage to equipment or other property of third parties leased or otherwise used by Contractor and tools or other property owned by or in the custody of Contractor's employees. Contractor's indemnity obligations under this Article shall, but not by way of limitation, specifically include all claims and judgments which may be made against the indemnitees under OSHA, similar laws of the state or other governmental body having jurisdiction, and further, against claims and judgments arising from violation of public ordinances and requirements of governing authorities due to Contractor's or Subcontractor's method of execution of the Work.

The indemnification obligations of Contractor under this Paragraph shall not extend to the liability of Engineer and Engineer's officers, directors, members, partners, employees, agents, consultants, and subcontractors arising out of: (1) the preparation or approval of, or the failure to prepare or approve, maps, Drawings, opinions, reports, surveys, Change Orders, designs, or Specifications; or (2) giving directions or instructions, or failing to give them, if that is the primary cause of the injury or damage.

ARTICLE VII PAYMENT

7.01 Manner of Payment and Right to Retain.

- (a) Application for Payment. Provided that an Application for Payment is received by Owner and Owner's Representative (which representative may be changed from time to time by written notice from Owner to Contractor) not later than the 25th day of the month, together with all supporting documentation as hereinafter required, Owner shall make payment to Contractor in the amount approved by Owner not later than the 15th day of the following month, less any amount that Owner is entitled to withhold pursuant to the provisions of Paragraph 7.02. Owner's Representative will observe the Work for the purpose of confirming completion in accordance with the Contract Documents. Owner's Representative is also authorized to give field instructions to Contractor.
- (b) Payment Period. The period covered by each Application for Payment shall be one (1) calendar month ending on the last day of the month. Each Application for Payment shall be based upon the approved Schedule of Values for all purposes.
- (c) Payment Amount. Subject to the provisions of the Contract Documents, the amount of each progress payment shall be computed as follows:
 - (i) Take that portion of the Contract Sum properly allocable to completed Work as determined by multiplying the percentage completion of each portion of the Work by the share of the total Contract Sum allocated to that portion of the Work in the Schedule of Values, less retainage of five percent (5%). Amounts not in dispute may be included even though the Contract Sum has not yet been adjusted by Change Order;
 - (ii) Add that portion of the Contract Sum properly allocable to materials and equipment delivered and suitably stored at the site for subsequent incorporation in the completed construction (or, if approved in advance by Owner, suitably stored off the site at a location agreed upon in writing), less retainage of five percent (5%);
 - (iii) Subtract the aggregate of previous payments made by Owner, and
 - (iv) Subtract amounts, if any, for which Owner has withheld or nullified an Application for Payment.

Subject to the risk of loss provisions of Paragraph 6.01, payment amounts may include

other specialized equipment not yet installed. All such items must be secured and stored in accordance with manufacturer recommendations. As further provided in Paragraph 6.01, Contractor bears all risk of loss if such items are damaged, lost, stolen, or otherwise rendered unfit or unavailable for installation as part of the Work.

(d) <u>Certification</u>. In each Application for Payment, Contractor shall certify as to subcontractors and suppliers that there are no known mechanics or materialmen liens outstanding as of the date hereof, all due and payable bills with respect to the work have been paid to date or are included in the amount requested in the current Application for Payment, and, except for such bills not paid but so included, there is no known basis for the filing of any mechanics or materialmen liens on the Work and waivers from all subcontractors and materialmen for which payment was made from the last advance made by Owner have been obtained.

At the time that each Application for Payment is submitted by Owner to Contractor, Contractor shall furnish to Owner a partial release of Contractor's liens, in the form attached as Item 2.0.H of the Contract Documents, covering all sums due Contractor through the date of the current Application for Payment, which partial release shall be duly executed and acknowledged by Contractor.

Contractor, within ten (10) days after Contractor's receipt of each progress payment, shall deliver to Owner partial releases of mechanic's and materialman's liens for all subcontractors and suppliers providing labor and/or materials to the Work, in the form attached as Item 2.0.I to the Contract Documents. Owner reserves the right to issue joint checks to Contractor and any Subcontractor or supplier and receive a credit against the applicable payment to Contractor.

- (e) Final Payment. Final payment, constituting the entire unpaid balance of the Contract Price, shall be paid by Owner to Contractor by the 15th of the month following submission of the final Application for Payment, provided: (1) the Application for Payment is submitted by the 25th day of the preceding month; (2) the Work has been completed and the Contract fully performed; and (3) a Certificate of Substantial Completion of the form attached to the Contract Documents as Item 2.0.K has been issued by Owner. In addition, the following items must be satisfied: (1) receipt by Owner of a final lien release from all subcontractors and suppliers employed in furnishing labor or materials in connection with the Work, in the form attached to the Contract Documents as Item 2.0.I; (ii) Contractor's final release in the form attached to the Contract Documents as Item 2.0.I; (and (iii) final inspection certificates and operating permits to the extent applicable.
- (f) Prevention of Liens. Provided that Contractor has been paid by Owner all sums due to Contractor pursuant to the Contract, Contractor shall not voluntarily permit any laborer's, materialmen's, mechanic's, or other similar liens to be filed or otherwise imposed on any part of the Work or the property on which the Work is performed. If any laborer's, materialmen's, mechanic's, or other similar lien or claim thereof is filed or otherwise imposed against the Property, Contractor, within thirty (30) days of the filing of such lien or other imposition thereof, shall cause such lien to be released or otherwise discharged, except as to liens that Contractor is contesting in good faith by appropriate action diligently pursued, provided Contractor has notified Owner of the nature of such lien and informed Owner of the type of action being pursued by Contractor and, if requested by Owner, has provided Owner with a bond (satisfying the requirements of the Chapter 5 of Title 45 of Idaho Code) sufficient to cover such claim (or cause the surety to acknowledge in writing that the lien claim is covered by the payment bond) in the event Contractor is unsuccessful in contesting same or has made other arrangements satisfactory to Owner. If, however, Contractor, within the aforesaid thirty (30) day period, does not cause such lien either to be released and discharged forthwith or contests same in the manner provided hereinabove, then Owner have the right to deduct 150% of the amount of the

lien claim from the next progress payment until Contractor shall be caused such lien to be released and discharged or otherwise contested same in the manner provided hereinabove. Contractor shall indemnify, defend, and hold harmless Owner from all claims, losses, demands, causes of action or suits of whatever nature arising out of any such lien or that part of the Work covered thereby.

It is further agreed that all payments to Contractor from Owner shall be deemed to be and constitute a trust fund to be used and applied by Contractor first in payment for all materials, labor, and any and all other obligations incurred in connection with the Work prior to its use and application by Contractor for its own purposes, or for any other purpose.

- (g) <u>Waiver</u>. The acceptance of final payment by Contractor shall constitute a waiver of all claims by Contractor except those previously made in writing and still unsettled.
- **7.02** Owner's Right to Withhold. Any provision hereof to the contrary notwithstanding, Owner shall not be obligated to make any payment to Contractor hereunder if any one or more of the following conditions exists:
 - (a) Contractor has failed to perform any of its material obligations hereunder or otherwise is materially in default under any of the Contract Documents; provided, however, that if such default may be cured by the payment of a liquidated sum of money, then such payment shall be made as to the part thereof not affected by such default and Owner shall retain the remainder of such payment until such default has been cured;
 - (b) Any part of such payment is attributable to Work that is defective, not performed, or not performed in accordance with the Contract Documents:
 - (c) Contractor has failed to make payments promptly to Contractor's subcontractors for material and labor used in the Work, except as to claims for payment for material or labor used in the Work the validity of which Contractor is contesting in good faith in accordance with Paragraph 7.01(f);
 - (d) If Owner, in its good faith judgment, determines that the portion of the Contract Sum then remaining unpaid will not be sufficient to complete the Work in accordance with the Drawings and Specifications, whereupon no additional payments will be due Contractor unless and until Contractor, in its sole cost, performs a sufficient portion of the Work so that such portion of the Contract Sum then remaining unpaid is reasonably determined by Owner to be sufficient to so complete the Work. For purposes of making the aforesaid judgment, Owner may (but is not obligated to) rely on the Schedule of Values, showing Contractor's estimate of Contractor's Costs for each of the items or categories of items described therein.

When any reason for withholding payment has been remedied, payment will be made for amounts previously withheld, less any costs which Owner reasonably incurred as a consequence or circumstance that gave rise to the withholding of such payment.

No partial payment made hereunder shall be or construed to be final acceptance or approval of that part of the Work to which such partial payment relates or relieve Contractor of any of its obligations hereunder with respect thereto.

ARTICLE VIII CHANGES IN THE WORK

8.01 Change Orders. Owner shall have the right at any time, by written change order

provided by and signed by Owner, to make changes in any one or more of the following parts of the Contract:

- (a) the Drawing and Specifications; or
- (b) the scheduling of performance of all or any portion of the Work.

If, in Owner's discretion, any such changes cause an increase or decrease in the cost of, or the time required for, the performance of any part of the Work, an equitable adjustment will be made in the Contract Sum called for (based upon unit prices quoted, if applicable) or the Contract Time, or both, and this Contract shall be modified in writing accordingly by change order on the form identified on Item 2.0.G to the Contract Documents (each a "Change Order"). Any claim by Contractor for adjustment under this Paragraph must be submitted to Owner in writing within ten (10) days from the date of receipt by Contractor of notification of change. No Work identified on any proposed Change Order shall be commenced until Owner executes a written Change Order. Pending final determination of costs by Owner, payments shall be made on the portion of Contractor's Application for Payment approved by Owner.

Agreement on any Change Order shall constitute a final settlement of all matters relating to the change in the Work that is the subject of the Change Order, including but not limited to, all direct and indirect costs associated with such change and any and all adjustments to the Contract Sum and the Contract Time. In the event a Change Order increases the Contract Sum, Contractor shall include the Work covered by such Change Orders in Applications for Payment as if such Work were originally part of the Contract Documents.

Non-Contractor Delays. Any delay or delays from time to time occurring, caused by Owner or as a result of fire, earthquake, adverse weather conditions not reasonably anticipated, or other acts of God or causes beyond the reasonable control of Contractor, including general labor disputes or unusual delays in transportation, shall not be attributed to Contractor, nor shall Owner be liable for any such delays, it being recognized that, from time to time, Contractor is confronted by delays beyond its control. Nevertheless, immediately after the cause of such delay or delays is removed, Contractor shall resume and continue performance in accordance with a mutually agreed upon revised schedule for the Work, with no additional increase in the Contract Sum. If a non-Contractor delay occurs, Contractor shall notify Owner of such delay within ten (10) days following the inception of such delay; otherwise, Contractor shall not be entitled to an extension of the Contract Time due to such delay. Contractor shall take all reasonable steps to avoid any delay. Contractor further acknowledges and agrees that adjustments in the Contract Time will be permitted for a delay only to the extent such delay (i) is not caused by Contractor and (ii) adversely affects the critical path of the Work. All delays in the Contract Time or the date of Substantial Completion or Final Completion must be approved in writing by Owner by a written Change Order.

ARTICLE IX

DEFAULT, TERMINATION, AND RELATED MATTERS

9.01 Termination without Cause. Owner may terminate this Contract at its convenience for any reason or no reason upon three (3) Eusiness day's written notice to Contractor. Such termination shall be effective in the manner specified in the notice and shall be without prejudice to any claims which Owner may have against Contractor. Upon termination where Contractor is not in default, as Contractor's sole remedy therefor, Contractor shall be entitled only to payment in the amount of (i) the Contract Sum prorated based on the percentage of Work completed and paid in accordance with Article VII, and (ii) reasonable demobilization expenses and any other cost reasonably incurred by Contractor in carrying out the activities requested by Owner in connection with Owner's termination of this Contract. On receipt of a notice of termination for cause or convenience, Contractor shall, unless the notice shall direct otherwise, immediately discontinue Work, and the placing of orders for materials, facilities and supplies in connection with the performance of the Work and shall further, if requested, make every reasonable effort to procure the cancellation of any existing orders and subcontracts upon terms satisfactory to Owner.

Contractor shall thereafter perform only such acts as may be necessary to preserve and protect Work already in progress, materials, plans or equipment, whether the same be located on the Project site or in transit thereto as directed by Owner.

- 9.02 <u>Contractor's Default</u>. If Contractor defaults or persistently fails or neglects to carry out the Work in accordance with the Contract Documents or fails to perform a provision of the Contract, Owner, after seven (7) day's written notice to Contractor, and without prejudice to any other right or remedy Owner may have, provided Contractor has not cured such default or failure within said seven (7) day period, may make good such deficiencies and may deduct the cost thereof, including compensation for Owner's services and expenses made necessary thereby, from the payment then or thereafter due Contractor.
 - (a) In the case of an "emergency" (defined herein as any default, neglect or defect in or with respect to the Work endangering life and/or property damage in excess of \$10,000), Owner shall provide Contractor with written notice of such default, neglect or defect constituting such emergency, but Owner may immediately commence and continue correction of such emergency, without waiting for the expiration of the above-described notice and cure period.
 - (b) In any case where Owner makes good any deficiencies as provided herein, an appropriate Change Order shall be issued deducting from payments then or thereafter due Contractor the cost of correcting such deficiencies, including compensation for any architect's and their respective consultants' additional services and expenses made necessary by such default, neglect, or failure. Such action by Owner and amounts charged to Contractor shall be reasonable and necessary. If payments then or thereafter due Contractor are not sufficient to cover such amounts, Contractor shall pay the difference to Owner. Alternatively, at Owner's option, Owner may terminate the Contract and take possession of the Site and remove all materials, equipment, tools and construction equipment and machinery thereon owned by Contractor (or require Contractor to immediately remove all such materials, equipment, tools and construction equipment and machinery from the Site) and Owner may finish (or cause another contractor to finish) the Work by whatever method Owner may deem expedient.
 - After termination by Owner pursuant to this Paragraph, Contractor shall not be entitled to (c) any further payment under this Contract, except to the extent of any amount by which Work completed prior to such termination and not previously paid for by Owner exceeds the amount due by Contractor to Owner under this Paragraph (including all damages that Owner would be entitled to recover at law from Contractor by reason of Contractor's breach), and even then only at such time as the Work is finally completed by Owner. If the unpaid balance of the Contract Sum exceeds the cost of finishing the Work, including compensation for any architect's or other professional services and expenses made necessary thereby (including, without limitation, Owner's reasonable attorney's fees and costs), such excess shall be paid to Contractor following completion of the Work by Owner, but if such cost exceeds such unpaid balance. Contractor shall pay the difference to Owner. Owner shall not be responsible to Contractor for any loss of anticipated profits on Work not performed on account of a termination under this Paragraph. Any sums payable by Contractor to Owner shall be payable upon demand and shall bear interest at the rate of ten percent (10%) ("Default Rate") per annum until paid.

9.03 Additional Acts of Contractor Default.

(a) In addition to the circumstances outlined in Paragraph 9.02 entitling Owner to perform Work on behalf of Contractor or terminate the Contract, if: (i) Contractor becomes insolvent, or makes a transfer in fraud of creditors, or makes an assignment for the benefit of creditors; (ii) Contractor files or has filed against it a petition under any chapter or section of the U.S. Bankruptcy Code, as amended, or under any similar law or statute

of the United States or any state thereof, or shall be adjudged bankrupt or insolvent in any legal proceeding; (iii) a receiver or trustee is appointed for all or a significant portion of the assets of Contractor; or (iv) Contractor actually or constructively abandons, or puts Owner on actual or constructive notice that it intends to abandon, the Project, Owner may exercise the remedies provided in Paragraph 9.02 and in this Paragraph.

- (b) It is recognized that: (1) if an order for relief is entered on behalf of Contractor pursuant to Title 11 of the United States Code, (2) if any other similar order is entered under any other debtor relief laws, (3) if Contractor makes a general assignment for the benefit of its creditors, (4) if a receiver is appointed for the benefit of its creditors, or (5) if a receiver is appointed on account of its insolvency, any such event could impair or frustrate Contractor's performance of the Contract Documents. Accordingly, it is agreed that upon the occurrence of any such event, Owner shall be entitled to request of Contractor or its successor in interest adequate assurance of future performance in accordance with the terms and conditions of the Contract Documents. Failure to comply with such request within ten (10) days of delivery of the request shall entitle Owner to terminate the Contract Documents and to the accompanying rights set forth in Paragraph 9.02. In all events, pending receipt of adequate assurance of performance and actual performance in accordance therewith, Owner shall be entitled to proceed with the Work with its own forces or with other contractors on a time and material or other appropriate basis, the cost of which will be back charged against the Contract Sum.
- 9.04 Owner Default. If Owner fails to make a payment required hereunder for a period of thirty (30) days, Contractor, after seven (7) days written notice to Owner, without prejudice or any other right or remedy Contractor may have, provided Owner has not cured such default within said seven (7) day period, may terminate this Contract and recover from Owner for payment for Work executed and for proven loss with respect to materials, equipment, tools and construction equipment and machinery, including reasonable overhead for profit and damages applicable to the Project, plus interest at the Default Rate until paid
- **9.05** <u>Dispute Resolution</u>. Owner and Contractor agree to mediate all claims and disputes prior to litigation or arbitration. If the dispute cannot be resolved by mediation, the dispute shall be decided by arbitration, if elected by Owner in Owner's sole discretion; otherwise, disputes may be resolved by a court of competent jurisdiction in Ada County.

Owner, at Owner's sole election, may choose arbitration in accordance with the Construction Industry Arbitration Rules of the American Arbitration Association, and judgment upon the award rendered by the arbitrator(s) may be entered in any court having jurisdiction thereof. If Owner elects to arbitrate such dispute, there shall be a prehearing meeting between the parties at which each party shall present a memorandum disclosing the factual basis of its claim and defenses and disclosing legal issues raised. Only one arbitrator shall be selected to resolve any claim or dispute hereunder. The memorandum shall also disclose the names of any expert that a party may present as a witness during the proceedings. The party shall be entitled to discover all documents and information reasonably and necessary for a full understanding of any legitimate issue raised in the arbitration. The parties may use all methods of discovery available under the Federal Rules of Civil Procedure and shall be governed thereby.

9.06 Liquidated Damages. Owner and Contractor recognize that time is of the essence in this Agreement and that Owner will suffer financial loss if the Work is not substantially complete prior to the Substantial Completion date, plus any extensions thereof allowed in accordance with this Contract. The parties also recognize the delays, expense and difficulties involved in proving in a legal or arbitration proceeding, the actual loss suffered by Owner if the Work is not substantially complete on time. Accordingly, instead of requiring any such proof, Owner and Contractor agree that as liquidated damages for delay (but not as a penalty) Contractor shall pay Owner \$1,000.00 for each day that expires after the Substantial Completion dates for each segment identified herein, as applicable and as identified in Paragraph 1.03, until the Work is complete.

ARTICLE X

INTERPRETATION AND OWNERSHIP OF CONTRACT DOCUMENTS

10.01 Interpretation of Contract Documents. The Contract Documents are complementary, and what is required by one shall be as binding as if required by all. Performance by Contractor shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as being necessary to produce the intended results. All dimensions and clearances necessary to perform the Work as indicated on the Drawings and contained in the Specifications, shall be verified by Contractor at the job site before executing the relevant portion of the Work and Contractor shall report any discrepancies to Engineer and Owner's Representative for adjustment before any Work affected thereby is commenced. Additionally, if sufficient detailed information is lacking, if Work is required in such a manner as to make it impossible to produce first-class Work, or if discrepancies appear among Contract Documents, then Contractor shall request clarification or interpretation from Engineer and Owner's Representative before proceeding with such Work.

The order of precedence of the Contract Documents is as set forth in Section 01000 of the Specifications. The most recently issued documents take precedence over previously issued forms of the same document. If an item is shown one place in the Drawings but not another, or called for in a schedule of the Specifications but not shown on the Drawings, it is to be included.

In the event of any internal inconsistency in either the Drawings or Specifications, or with each other, the appropriate method of performing the Work, in the event of the above mentioned inconsistency, shall be determined by Engineer with Owner's approval. Figures take precedence over physical scale measurements. Large scale details take precedence over smaller scale details. Drawings take precedence in regard to dimensions, when in conflict with mechanical and structural drawings, except for the size of the structural members. Specifically titled drawings and sections of the Specifications take precedence over indication of the item in a collateral way. Existing conditions take precedence over Drawings and Specifications for dimensions.

List of "Work included" and "Work excluded" in the Drawings and Specifications are not intended to enumerate each and every item of work or appurtenance required, and must be used in conjunction with other portions of the Contract Documents.

Reference to standards, specifications, manuals, or codes of any technical society, organization, or association, or to any laws or regulations, shall mean the standard, specification, manual, code, or law or regulation in effect at the time of submission of Contractor's bid, except as may be otherwise stated in the Contract Documents. No provision of any such standard, specification manual, or code, or any instruction of a supplier, shall be effective to change the duties or responsibilities of Owner, Contractor, or Engineer, or any of their subcontractors, consultants, agents, or employees, from those set forth in the Contract Documents. No such provision or instruction shall be effective to assign to Owner, Engineer, or any of their officers, directors, members, partners, employees, agents, consultants, or subcontractors, any duty or authority to supervise or direct the performance of the Work or any duty or authority to undertake responsibility inconsistent with the provisions of the Contract Documents.

10.02 <u>Clarification of Contract Documents; Discrepancies.</u> Clarifications and interpretations of the Drawings or Specifications shall be issued by Engineer. As further provided in Paragraph 2.01(i), Contractor has reviewed the Contract Documents and must promptly report any conflict, error, ambiguity, or discrepancy discovered or of which Contractor has actual knowledge and obtain a written interpretation or clarification from Engineer. Except as may be otherwise stated in the Contract Documents, the Contract Documents shall control in resolving any conflict between the Contract Documents and any standard, specification, manual, or code, or the instruction of any supplier, or the provisions of any law or regulation unless such an interpretation would result in a violation of such law or regulation.

10.03 Plans. Contractor or its subcontractors shall not have or acquire any title to or ownership

rights in any of the Drawings, Specifications, or other documents (or copies thereof) prepared in connection with the Work by Owner or its agents, nor shall Contractor or any of its subcontractors reuse any such Drawings, Specifications, or other documents (or copies thereof) on extensions of the Project or any other project without written consent of Engineer and Owner and specific written verification or adaptation by Engineer. The prohibitions set forth in this Paragraph will survive final payment or termination of this Contract.

10.04 <u>Data</u>. Data that may be relied upon are printed or hard copies. Files in electronic media format are furnished only for the convenience of the receiving party. Any conclusion or information obtained or derived from such electronic files will be at the user's sole risk. If there is a discrepancy between the electronic files and the hard copies, the hard copies govern.

ARTICLE XI TESTS AND INSPECTIONS

11.01 Access to Work. Owner, Engineer, their consultants and other representatives and personnel of Owner, independent testing laboratories, and governmental agencies with jurisdictional interests will have access to the Site and the Work at reasonable times for their observation, inspection, and testing. Contractor shall provide them proper and safe conditions for such access and advise them of Contractor's safety procedures and programs so that they may comply therewith as applicable.

11.02 Tests and Inspections.

- (a) Contractor shall give Engineer or Owner's Representative timely notice of readiness of the Work for all required inspections, tests, or approvals and shall cooperate with inspection and testing personnel to facilitate required inspections or tests.
- (b) Owner shall employ and pay for the services of an independent testing laboratory to perform all inspections, tests, or approvals required by the Contract Documents, except:
 - (i) for inspections, tests, or approvals covered by Paragraphs 11.02(c) and 11.02(d) below;
 - (ii) costs incurred in connection with tests or inspections conducted pursuant to Paragraph 11.03(b) shall be paid as provided in Paragraph 11.03(c); and
 - (iii) as otherwise specifically provided in the Contract Documents.
- (c) If any public body having jurisdiction or any utility requires any Work (or part thereof) specifically to be inspected, tested, or approved by an employee or other representative of such public body or utility, Contractor shall assume full responsibility for arranging and obtaining such inspections, tests, or approvals, pay all costs in connection therewith, and furnish Engineer and Owner's Representative the required certificates of inspection or approval.
- (d) Contractor shall be responsible for arranging and obtaining and shall pay all costs in connection with any inspections, tests, or approvals required for Owner's and Engineer's acceptance of materials or equipment to be incorporated in the Work; or acceptance of materials, mix designs, or equipment submitted for approval prior to Contractor's purchase thereof for incorporation in the Work. Such inspections, tests, or approvals shall be performed by organizations acceptable to Owner and Engineer.

11.03 Uncovering Work.

(a) If any Work (or the work of others) that is to be inspected, tested, or approved is covered by Contractor without written concurrence of Engineer or Owner's Representative,

Contractor shall, if requested by Engineer or Owner's Representative, uncover such Work for observation. Uncovering Work shall be at Contractor's expense unless Contractor has given Engineer or Owner's Representative timely notice of Contractor's intention to cover the same and Engineer and Owner's Representative have not acted with reasonable promptness in response to such notice.

- (b) If Engineer or Owner's Representative considers it necessary or advisable that covered Work be observed by Engineer or Owner's Representative or inspected or tested by others, Contractor, at Engineer or Owner's Representative's request, shall uncover, expose, or otherwise make available for observation, inspection, or testing as Engineer or Owner's Representative may require, that portion of the Work in question, furnishing all necessary labor, material, and equipment.
- (c) If it is found that the uncovered Work is defective, Contractor shall pay all claims, costs, losses, and damages (including but not limited to all fees and charges of engineers, architects, attorneys, and other professionals and all court or arbitration or other dispute resolution costs) arising out of or relating to such uncovering, exposure, observation, inspection, and testing, and of satisfactory replacement or reconstruction (including but not limited to all costs of repair or replacement of work of others) and Owner shall be entitled to an appropriate decrease in the Contract Price. If it is found that such work is not defective, and Owner has received notice of the proposed uncovering, then Owner shall pay all costs related to uncovering and subsequent recovering of the Work inspected.
- (d) If uncovering of any Work is required by any governmental or quasi-governmental agency or utility, all such costs for uncovering the Work shall be borne by Contractor.

11.04 Owner May Stop the Work.

- (a) If the Work is defective, or Contractor fails to supply sufficient skilled workers or suitable materials or equipment, or fails to perform the Work in such a way that the completed Work will conform to the Contract Documents, Owner may order Contractor to stop the Work, or any portion thereof, until the cause for such order has been eliminated; however, this right of Owner to stop the Work shall not give rise to any duty on the part of Owner to exercise this right for the benefit of Contractor, any subcontractor, any supplier, any other individual or entity, or any surety for, or employee or agent of any of them.
- 11.05 Correction or Removal of Defective Work. Promptly after receipt of written notice, Contractor shall correct all defective Work, whether or not fabricated, installed, or completed, or, if the Work has been rejected by Engineer or Owner's Representative, remove it from the Project and replace it with Work that is not defective. Contractor shall pay all claims, costs, losses, and damages (including but not limited to all fees and charges of engineers, architects, attorneys, and other professionals and all court or arbitration or other dispute resolution costs) arising out of or relating to such correction or removal (including but not limited to all costs of repair or replacement of work of others).

When correcting defective Work under the terms of this Paragraph 11.05 or Paragraph 11.06, Contractor shall take no action that would void or otherwise impair Owner's special warranty and guarantee, if any, on said Work.

11.06 Acceptance of Defective Work. Instead of requiring correction or removal and replacement of defective Work, Owner may agree to accept such Work. Contractor shall pay all claims, costs, losses, and damages (including but not limited to all fees and charges of engineers, architects, attorneys, and other professionals and all court or arbitration or other dispute resolution costs) attributable to Owner's evaluation of and determination to accept such defective Work and for the diminished value of the Work to the extent not otherwise paid by Contractor pursuant to this sentence. If any such acceptance occurs prior to final payment, a Change Order will be issued incorporating the necessary revisions in the

Contract Documents with respect to the Work, and Owner shall be entitled to an appropriate decrease in the Contract Price, reflecting the diminished value of Work so accepted.

11.07 Owner May Correct Defective Work.

- (a) If Contractor fails within a reasonable time after written notice from Engineer or Owner's Representative to correct defective Work, or if Contractor fails to perform the Work in accordance with the Contract Documents, or if Contractor fails to comply with any other provision of the Contract Documents, Owner may, after seven days' written notice to Contractor, correct, or remedy any such deficiency and deduct such cost from the Contract Price.
- (b) In exercising the rights and remedies under this Paragraph, Owner shall proceed expeditiously. In connection with such corrective or remedial action, Owner may exclude Contractor from all or part of the Site, take possession of all or part of the Work and suspend Contractor's services related thereto, take possession of Contractor's tools, construction equipment and machinery at the Site, and incorporate in the Work all materials and equipment stored at the Site or for which Owner has paid Contractor but which are stored elsewhere. Contractor shall allow Owner, Owner's representatives, agents and employees, Owner's other contractors, and Engineer and Engineer's consultants access to the Site to enable Owner to exercise the rights and remedies under this Paragraph.
- (c) All claims, costs, losses, and damages (including but not limited to all fees and charges of engineers, architects, attorneys, and other professionals and all court or arbitration or other dispute resolution costs) incurred or sustained by Owner in exercising the rights and remedies under this Paragraph will be charged against Contractor, and a Change Order will be issued incorporating the necessary revisions in the Contract Documents with respect to the Work; and Owner shall be entitled to an appropriate decrease in the Contract Price. Such claims, costs, losses and damages will include but not be limited to all costs of repair, or replacement of work of others destroyed or damaged by correction, removal, or replacement of Contractor's defective Work.
- (d) Contractor shall not be allowed an extension of the Contract Times because of any delay in the performance of the Work attributable to the exercise by Owner of Owner's rights and remedies under this Paragraph.
- 11.08 Re-inspection and/or Overtime Inspection. The cost of any re-inspection or overtime inspection by any person having the right to make re-inspections, whether by law or otherwise, shall be borne by Contractor in the event such re-inspection was made necessary by failure of Contractor to complete the Work contracted for herein, in accordance with the aforesaid plans and specifications.

ARTICLE XII WARRANTY

12.01 Warranty of Contractor. Contractor warrants and guarantees to Owner that all Work will be in accordance with the Contract Documents and will not be defective. Notwithstanding anything contained in the Contract Documents to the contrary, if, within two (2) years after the date of Final Completion or such longer period of time as may be prescribed by law with respect to latent defects or by the terms of any applicable special guarantee required by the Contract Documents or by any specific provisions of the Contract Documents, Owner discovers any defective work, including any portion of the Work that was not constructed substantially in accordance with the Contract Documents, Contractor shall promptly, without cost to Owner, either correct such defective Work, or, if it is not possible to correct such defective Work, remove it from the site and replace it with non-defective Work.

The cost to Contractor of performing any of its obligation under this Article shall not be included in the cost of the Work and Contractor shall bear all extra costs such as additional design services related to such defective work.

In any emergency where delay would cause serious risk of loss or damage, Owner may have the defective Work corrected or the rejected Work removed and replaced, and all direct costs of such removal and replacement, including reasonable compensation for additional professional services, shall be paid by Contractor. Inability or refusal of a subcontractor responsible for defective Work to correct such Work shall not excuse Contractor from performing under the warranty provided in this Paragraph.

Should Contractor fail to make such warranty corrections required hereby within five days after written notice thereof from Owner to Contractor, provided that if the required corrections cannot be made within five days, Contractor fails to commence making such warranty corrections within a reasonable period of time, not to exceed thirty (30) days, and diligently continue the prosecution of such warranty corrections until completion, Owner may do so at the expense of and for the account of Contractor.

Contractor's warranty provided herein is in addition to, and not in lieu of, any other remedies Owner may have under this Contract, at law, or in equity for defective Work.

All guarantees and warranties of materials and workmanship running in favor of Contractor shall be transferred and assigned to Owner or ACHD (if applicable) on final acceptance of the Work and prior to Contractor receiving final payment. In case of guarantees or warranties covering equipment and/or materials furnished and Work performed by subcontractors (including manufacturers), such guarantees and warranties shall be addressed to and in favor of Owner and run for two years, at least, from the date of Contractor's completion of the entire Work. Contractor shall be responsible for delivery of such guarantees and warranties to Owner or ACHD (if applicable) prior to final acceptance of the Work. Delivery of guarantees or warranties shall not relieve Contractor from any obligation assumed under any provision of this Agreement.

The two year warranty period for any item of defective Work shall recommence upon repair or restoration as described in this Article until two years of satisfactory service with no warranty work required is achieved.

ARTICLE XIII MISCELLANEOUS PROVISIONS

- 13.01 <u>Books and Records</u>. Contractor shall keep full and detailed accounts, books and records as may be necessary for proper financial management under this Contract, which books and records shall be preserved by Contractor for a period of two (2) years after the final payment by Owner. Owner may inspect, copy and audit, upon twenty-four (24) hours' prior notice, all or any part of the books and records of Contractor relating to the Work.
- 13.02 Entire Agreement; Amendment. The Contract Documents set forth all agreements between Owner and Contractor relative to the Work, and all prior negotiations or agreements are merged in the Contract Documents. No modification hereof or subsequent agreement relative to the subject matter of the Contract Documents shall be binding unless in writing and signed by both parties to the Contract Documents. Notwithstanding the foregoing, minor variations and deviations in the Work may be authorized by: (1) a Field Order; (2) Engineer's approval of a Shop Drawing or Sample; or (3) Engineer's written interpretation or clarification of Specifications or Drawings.
- 13.03 <u>Waiver of Remedies</u>. The waiver by Owner of any default, or of any breach of the terms of the Contract shall not be deemed a waiver of any subsequent breach. Remedies and rights of Owner in the event of any breach hereof by Contractor are cumulative and in addition to those given by law.

13.04 Assignment.

- (a) By Contractor. Subject to Contractor's right to contract with subcontractors and suppliers with respect to the performance of portions of the Work, Contractor shall not assign all, or any part of, this Contract nor any payments hereunder without first obtaining the consent in writing from Owner and then, only subject to the provisions of this Contract. This Contract is for Owner's benefit, its successors and assigns who, as well as Contractor, may directly enforce all rights and warranties, express or implied herein, but subcontractors shall have recourse only against Contractor and not against Owner.
- (b) By Owner. Owner may assign its rights under this Contract to any affiliate of Owner, without Contractor's prior written consent, and Owner also may collaterally assign its rights under this Contract to a lender. Owner may rely solely upon Contractor for enforcement of all subcontracts. To effect such purpose, Contractor assigns to Owner the right, upon election of Owner, to bring any actions against subcontractors and material vendors without waiver by Owner of his right against Contractor because of defaults, delays, and defects for which a subcontractor or material vendor may also be liable; provided, however, that Owner shall not have the right to bring such actions directly against such subcontractor unless Contractor has defaulted hereunder (and such default remains uncured) or Owner has terminated the Contract as a result of such default. Contractor will indemnify, defend and hold Owner, Owner's Representative, Engineer, Harris Family Limited Partnership, and, where applicable, ACHD, harmless from any failure or refusal of any subcontractor to comply with any provision of the Contract Documents.
- 13.05 <u>Relationship</u>. Nothing contained in this Contract shall be deemed or construed to create the relationship of principal and agent or joint venturer as between Owner and Contractor, it being agreed and understood that the only relationship between the parties is that of Owner and independent contractor.
- 13.06 <u>Attorneys' Fees</u>. The prevailing party in any court or arbitration action arising out of this Contract, or the enforcement or breach hereof, shall be entitled to court costs and reasonable attorneys' fees as determined by the Court or arbitrator, including fees incurred on any appeal thereof.
- 13.07 Notices. Any notice provided or permitted to be given under the Contract Documents must be in writing and may be served by depositing same in the United States mail, addressed to the party to be notified, postage prepaid, by registered or certified mail, with return receipt requested; by delivery of such notice in person to such party; or by facsimile (with confirmation or receipt); or by nationally recognized overnight delivery service. Notice given in accordance herewith shall be effective upon receipt at the address of the addressee. For purposes of notice, the addresses of the parties shall be as set forth on the signature page hereof.
- 13.08 <u>Severability</u>. If any term or provision of this Contract shall be found to be illegal, unenforceable, or in violation of the laws, statutes, ordinances, or regulations of any public authority having jurisdiction thereof by a court of competent jurisdiction, then, notwithstanding such term or provision, this Contract shall be and remain in full force and effect and such term shall be deemed stricken; provided, however, this Contract shall be interpreted, when possible, so as to reflect the intentions of the parties as indicated by any such stricken term or provision.
- 13.09 <u>Choice of Law.</u> This Contract shall be enforceable under, and interpreted in accordance with, the laws of the state of Idaho. Venue for any litigation in any way related to this Agreement shall be in Ada County.
- **13.10** <u>Waiver</u>. Waiver by Owner of any provision of this Contract in one instance shall not constitute a waiver as to any other instance.
- 13.11 <u>Intellectual Property</u>. Contractor may not use Owner's or the Harris Ranch trade name, logo, or photographs of the Premises in any manner whatsoever without the prior written consent of

Owner, which consent may be withheld in Owner's sole discretion.

- 13.12 <u>Headings; Capitalization</u>. The headings used in this Contract are for convenience only and are not to be construed as part of this Contract. Any terms capitalized but not defined herein shall have the meanings set forth in the Contract Documents.
- 13.13 Interpretation. In the event of any inconsistency or ambiguity between this Contract and any of the Contract Documents, this Contract shall prevail. Owner and Contractor both acknowledge and agree that each has reviewed the terms of this Contract. The parties further agree that the rule of construction that any ambiguities are resolved against the drafting party will be subordinated to the principle that the terms and provisions of this Contract will be construed fairly as to all parties and not in favor or against any party.
- **13.14** <u>Cooperation</u>. The parties covenant and agree to do, execute, and deliver, or cause to be done, executed, and delivered, such further acts and assurances, for implementing the intention of the parties under this Contract.
- **13.15** <u>Authority</u>. Contractor's execution of this Agreement and performance thereof is within Contractor's duly authorized power.
 - 13.16 Counterparts. This Contract may be executed in counterparts.

[end of text - signatures on following page]

IN WITNESS WHEREOF, the parties have caused this Contract to be properly executed as of the day and year first written above.

OWNER:

BARBER VALLEY DEVELOPMENT, INC.,

an Idaho corporation

By: Doug Fowler, Fresident

ADDRESS FOR NOTICE: 4940 E. Mill Station Dr. Suite 101 B Boise, ID 83716

With a copy to:

RiveRidge Engineering Company 2447 S. Vista Ave. Boise, Idaho 83705 CONTRACTOR:

CENTRAL PAVING Co., INC., an Idaho corporation

By: Terry McEntee, Authorized Agent

ADDRESS FOR NOTICE: P.O. Box 15010 5040 South Apple Boise, ID 83715

EXHIBIT A

The following insurance limits shall apply:

a. Automobile liability: \$1,000,000.00 (combined single limit per accident or occurrence)

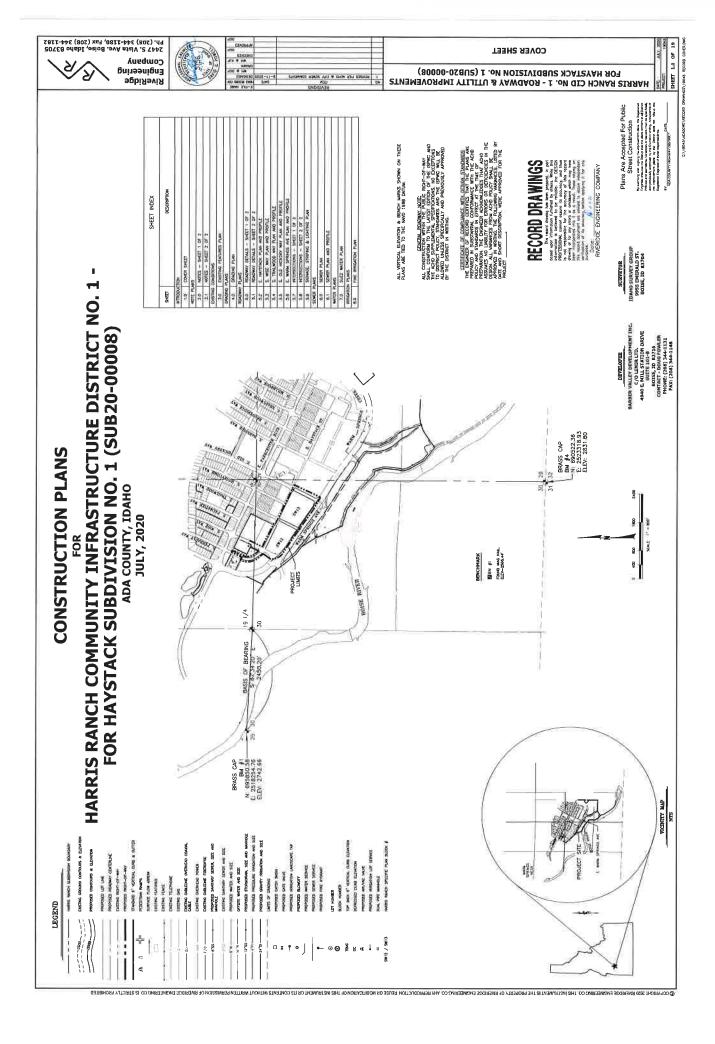
\$10,000.00

b. Commercial General Liability:

v. Medical (any one person):

i. General Aggregate: \$2,000,000.00
ii. Bodily Injury or Death (per occurrence): \$2,000,000.00
iii. Property damage (per occurrence): \$1,000,000.00
iv. Fire liability (per fire): \$300,000.00

Contractor shall have an equipment policy with limits adequate to protect Owner. As further set forth in Article VI of the Contract, the Additional Insureds shall include Owner, Owner's Representative, Engineer, LeNir Ltd., the Harris Family Limited Partnership, and ACHD.



Plans Are Accepted For Public Street Construction

HARRIS RANCH CID NO. 1 - ROADWAY & UTILITY IMPROVEMENTS FOR HAYSTACK SUBDIVISION NO. 1 (SUB20-00008)

MIT 22 0F

ADA COUNTY HIGHWAY DISTRICT

2447 S. Vista Ave. Boise, Idaho 83705 Ph. (208) 344-1180, Fax (208) 344-1182

PROPOSED SCEWILIS WHORE SHOWN ON THEIR PLANS. THE VILVE BOXES SHALL BE LOCATED IN PLANTER STRIP OR IN THE

WAY UNES SHALL BE INSTALLED BENEATH THE

PRESSURE IRRIGATION NOTES

Сошрапу

BUCKELL SWLL BE PER ISPIRE SECTION 306, THE "X-I" UNDER ROLDBINGS, AND WIRDE DIRECTED BY DIGNERS AND THE "C" OUTSIDE OF RADUMANS. THE CONTRACTION SWLL LEAVE TO SINCE STATUS BOT DETIRET RIGHT AND PROPERTY OF A LEGISLES AND THE STATES SWLL BE 3-NOT MANY OUTSIDENIE DIVERSHIPD MODIFICATE DIVERSHIPD ADDRESTIVE DIVERSHIPD.

ALL SEDING SHALL BE PLACED A LINNIAUM OF 4-INCHES BELOW AND 6-INCHES ABOVE THE PIPE, IN AREAS WHERE ROCK EXCANATION IS REQUIRED, SUTABLE BEDONG SHALL BE PROMOED AT LESST 6-INCHES BELOW AND ABOVE THE PIPE.

ALL IRRIGATION MAINS SHALL BE PRESSIVE TESTED IN ACCORDANCE WITH THE ISPINC SECTION 901, CONTRACTOR SHALL NOTIFY RAVERIDGE ENGINEERING TO ARRANGE A TIME TO WITNESS THE TEST.

TEN (10) FEET OF HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN POTABLE WATER MAINS AND IRRIGATION MAINS.

AT ANY LOCATION WHERE THE IRRIGATION WAN UNES AND WATER MAN LINES CROSS, THE IRRIGATION WAN LINE SOUTH LITIMS ARE LOCATED AS FAR AS POSSIBLE FROM THE CROSSING. A VERTICAL SEPARATION DISTANCE OF 18-INCHES SHALL BE WANTANGED RETWEEN PIPES.

13, VALVES SAULL CONFORM TO ISPINC SECTION 902, VALVES LOCATED IN SIDEMALK AND PLANTER STRIP SAULL BE LOCATED IN CAST IRON VALVE BOX PER 1.S.P.W.C. SECTION 9022.6.

11, ALL IRRIGATION MAIN LINES SYALL BE FLUSHED FREE OF DIRT AND DEBAIS PRIOR TO FINAL ACCEPTANCE. 12. THE CONTRACTOR SWALL PROVIDE SUBMITING ON PROPOSED MATERIALS FOR THE ENGINEER'S APPROVIL.

14. RRIGATION SYSTEM IS SHOWN SCHEMATICALLY. CONTRACTOR SHALL INSTALL ALL VALVE BOXES AND RISERS OUTSIDE OF PEDESTRAIN FAMILS.

17, CONNECTION TO THE PAC LATERAL SHALL BE DONE LISING STAINLESS STEEL OR BRASS FITTINGS.

18 INDIVIDUAL LOT SERACES SHALL CONFORM TO DETAILS ON THE PLANS.

Engineering RiveRidge

030336 87 9 10 100 9 10 0340630 9 0008 010

PREMIATION STANKE PIFE SHALL BE CLASS 200 POLYGIN/LINE I " DAMETER, CORPORATION STOPS CONNECTED DIRECTLY TO THE SADOLE SHALL BE FORD F81001-4, MUELER 41048-33 OR PREMIATE SELVAL.

WUVE AT SERVICE RISER WULK BOX SWILL BE FORD OR WUELLER ANCLE WEITS STOP WITH LOCK WIND AND FIP THREWED OUTLET COMMECTION, OR APPROVED EQUIL. VALVE STZE SWILL MATCH THE SERVICE LINE SIZE

19. SPRACES ARE TO BE CONSTRUCTED IN CONFORMANCE WITH DEFAL, SHOWN IN THE PLANS, JOHT COMPOUND OR TEPLON TAPE SHALL BE USED AT ALL JOHN'S. VALVE BOXES SHALL BE INSTRUCTED IN CONFORM SURFACE. MORATORIUM ROAD REPAIR NOTES (EXISTING HAYSTACK & OLD HICKORY)

20, ALL SENCES SMILL RE TOCKED WITH A LUGG, STATHG "NON-POTBLE WITER-HOT FOR DRINKING", OR EQUALDET. 2) AR ELECTROS WANDER MAULED DUMS SMILL CONFORM WITH BORNE SECTION BOWN OF THE CONFORM OTHER PLANS, INSTALL AR RELDES WAVE AT ALL HEP-THE DOG OF ALL WAND WHERE SOWN OF HET PLANS, BOAKS SMILL BE LOCKED AT ALL COMPONING IN THE STOTION WHERE SHOWN OTHER PLANS.

ANY LAMES DISTURBED BY THIS CUT ARE REQUIRED TO BE REDARED TO THE NETT LAME LINE. THE PATCH WILL BE A WINIUM OF 20 FOOT WIDE HAM SHALL BE SP-3, 0.50 INCH (1/2) MIX USING FORB-28 THIS AND AND A HALF NCHES (2 1/2) THICK, AS A MINIUMLI, INSPECTOR WILL BE MOTHED 24 HISSIN ADMINE, OF PAINING. LL WOR WIL DE CONSTRUTIO TO SPING STANDARDS. THE PARTIES WILL DE CHECKER FOR SEACTIMENSE AFTER SEA WORTER. OR DEPETTS THAT STORMED WAS THAN AND AN A TOOR IN ON THE THAN A TOOL OF THE THAN A TOOL OF THAT AND A TOOL OF THAT A TOOL OF

SE AD CEDUR PLAN WILL BE PROVIDED IN ACCORDANCE WITH THE MUTCO. TRAFFIC CONTROL FOR PEDESTRAW SAFTY AND ACCESS IS TO BE INCLUDED IN THIS PLAN AND WILL BE ADA COMPANT.

HITERATIONS, SOOK WILL BE INSTILLED, ACCORDING TO GROWN (914.13.02), PRIOR TO CONSTRUCTION. SPAIS AND A PUBLIC INFORMATION NOTICE, DIPLANING WHO IS DOING THE WHO IS PAYING TOR THE WORK, MILL BE PROVIDED. ALL WORK IN ACRO RIGHT-GE-WAY REQUIRES A PERMIT. FOR INFORMATION RECARDING THIS RECOURBLENT TO GRITAN A PERMIT PLEASE CONTINCT CONSTITUTION SERVICES. SCHOOL WAS ALL THE WORK THE ASSUMED WITH FOR A PERMIT PLAN ARE REQUIRED PRIOR TO THE SESUMED OF THE RESUL.

SCHOOL WANTINGS WE RECURE PRIOR APPROAL FROM ACHO.

TUNNELNO, UNDER CLIRBL GUTTER, OR SIDEMALK WILL NOT BE ALLINED WITHOUT APPROVAL FROM THE WANGER OF ENGNEDRING OR APPROVED REPRESENTATIVE. REQUIRED WITHIN 24 HOURS FOLLOWING THE BACKFILL OF THE TREACH.

BET MANGENETI PRACTICE FOR EROSION AND SEDMENT CONTROL IS REQUIRED. AND IS TO BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY EXCANATION AND DEMOUTION ACTIVITIES.

ROADWAY NOTES

AL CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE MOST CURREDIT ADOPTED EDITION OF THE ISSWIC AND THE ACHO SUPPLANDENLY, STANDARDS AND THE SEPWIC AND THE OSTRUCT POLICY, STANDARDS AND THE ISSTRUCT FOUND. COUNTY HIGHWAY DISTRICT WILL INSPECT ALL WORK, SUBGRADE AND ABOVE WITHIN THE RIGHT-OF-WAYS á

SET THE TOPS OF ALL VALVE BOXES AND SEWER MANHOLES FLUSH WITH THE SLOPE OF THE FINISHED STREET GRADES ADA COUNTY HIGHWAY DISTRICT WILL INSPECT AND APPROVE ALL STORM DRAINGE WARDANDARDS

VALLEY GUTTER OR SIDEWALK IMPROVEMENTS. PLACE ALL WATER VALVES, BLOW-OFFS, AND MANHOLES SO THAT THEY DO NOT CONFLICT WITH ANY CONCRETE CURB AND CUTTER,

AL PEDESTRAN RAJPS LOCATED WITH THE PUBLIC RIGHT-OF-WAY WILL INCLIDE TRAINCATED DOMES PER ACHO SUPPLEMENTAL STANDARD DRAWING SD-772 (REDIACES 2005 712). DOMES SHALL BE CAST INTO THE CONCRETE (AMESINE MATS NOT ALLDWED) THEORY. SELVEN.

ALLEYS WILL BE OWNED AND INSPECTED BY ACHD.

F RANDONED BULDINGS, TEST FITS, OR MATERWAS ARE LOCATED BENEATH PROPOSED PARADOT OR SIDEMALK AREAS, THEY SHOULD BE RE-EXCANATED TO NATHE SOIL AND BUCKRILLED WITH STRUCTURED FILL PER ISPAYS PREPICATIONS, PROVIDE CORPY OF COMPULION TESTS.

RECORD DRAWINGS

표

CONTRICTORS, SIGNONIFECTORS AND/OR UTLITY CONTRICTORS SHALL ATTEND A PRE-CONSTRUCTOR CONTRICTOR A MEMBRIA OF THREE (3) WORKING DAYS PROFET TO STANT OF WORK

ALL WORK SHALL BE DONE IN ACCREDANCE WITH THE SPECIFICATIONS AND/OR REQUIREMENTS OF THE ADA COUNTY HOMMY DISTRICT, BOSE OTY PUBLIC WORS DEPARTMENT AND SUZZ SPECIAL SPECIFICATIONS AND STANDARD DAMMING.

GENERAL NOTES

PPP RICHARION WITH RICHT-OF-AWAY AND UNDER ALL WALLS SHALL HAVE 30" OF COMEN WINMIN AND SHALL BE BEDIND WITH THE I BEDDING PER ISFANG SECTION 3X5, UNLINES DECONINCIPED IN PART SEE REVISATION PLANS FOR SLEPPE SECT. BRIGHTON WAN LIKES LAD GOTSEE RICH-CO-WAY AND KET LADDS WAND SENDED WITH WATER GAMILLAR WATERL WATER THAT OF SLICH MATERIAL G SMALES OF MACHINE MARKET PARK SENDER WAS 3/4"-MICH IN SEC. OF THE ENGARET PER THE WATERL UNSTANDE FOR ESDONG, MICHER FEEDINGS, WICHE REQUIRED. SMALE THE THE IS 1951 SWAY SECTION XX. ALL PIPE, FITTINGS, THRUST BLOCKS, MARKERTAPE, FINDER WIRE, COUPLERS AND OTHER APPURTENANCES SHALL CONFORM WITH SECTION 901 OF THE LATEST EDITION OF THE ISPANC NISTALLATION OF PIPE AND APPLICIONANCES SHALL CONFORM WITH SECTION 901 OF THE LATEST EXITION OF SPINIC ALL WATDW, DRINGHO ON OF TOR THE PROJECT WIST MEET THE WINWLAM FEQUINDADITS OF THE APPROVE ACTIONCES OR AS SET FORTH HORDIN, WHORDERS IS MORE RESTRICTING. COMPANIONS AND THE REQUISIONS AT THE REQUISIONS AND THE RESON THE PESSON DANDOWS ACCOUNTS. AT THE REQUISIONS AT THE REQUISIONS AND THE APPROVED AND ADDRESS AND THE PESSON DANDOWS ACCOUNTS. AL CONTRACTORS AND SUBCONTRACTORS WORKING WITHIN THE PROJECT BOUNDARIES ARE RESPONSIBLE FOR COMPLACION SHALL APPLICABLE SAFETY LAWS OF ANY LURSDICTIONAL BODY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARBOLOES, SAFETY DENCES AND CONTRACTOR SHALL WITHIN AND AROUND THE CONSTRUCTION AREA. CONTRACTOR SWALL WANTAIN ALL EXSTING DRAININGE FACILITIES WITHIN THE CONSTRUCTION AREA UNTIL THE FINAL DRAINING: IMPROVEMENTS ARE IN PLACE AND FUNCTIONING.

WORK SIBLECT TO APPROVE BY ANY POLITION, SIBDINSON OR ALBUCY MUST BE APPROVED PRICE TO (A) BUCKTILLION TRENCHES FOR PIPE; (B) PALANIC OF ABFINATE PAYING. WORK DOLE WITHOUT SLICE APPROVED. DOLES NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF PERFORMENT. THE WORK IN AN ACCOUNTED. THE LOCATIONS OF EXCETING UNDERSEABLAR LITTLES ARE SHOWN IN AN APPROXIMACE FOR CONTINCES SAME, DETERMINE THE EXACT LOCATION OF ALL EXCENSION O

ALL CONTRACTORS WORKING WITHIN THE PUBLIC ROAD RIGHT-OF-WAY ARE REQUISED TO SECURE A RIGHT-OF-WAY CONSTRUCTION PETANT FROM ACHD AT LEJST TMENTY-FOUR (24) HOURS PROST TO ANY CONSTRUCTION.

TO LOCATE SUBSURFACE STORMANTER DISPOSULE FACULITIES (NOCLUDING INFILTRATION BEIDS AND DRYMELLS) AT LEAST 25 FEET FROM WATCH WAINS. THIS RECURREMENT DOES NOT APPLY TO CATCH BEGINS OR SAND AND GREDES WALLS. ONLY PLAN SETS STAMPED 'APPROADED FOR CONSTRUCTION' AND SIGNED BY ACHO AND THE CITY ENGINEER OR HIS AUTHORIZED REPRESEDRATIC SAULL BE USED BY THE PROJECT CONTRACTOR(S), USE OF ANY PLANS ON THE USB WITHOUT THE "APPROADED FOR CONSTRUCTOR" STAMP SHALL BE GROUNDS FOR THE ISSUANCE OF A STOP WORK ORDER.

THE CONTRICTOR SHALL AND ON STATE ALL CONTROLLES, AND THE APPROACH AND THE ASSESSMENT OF ACCURATIONS OF THE CONTROLLES OF THE APPROACH AND THE CONTROLLES OF THE APPROACH OF THE CONTROLLES OF THE APPROACH OF THE CONTROLLES OF THE APPROACH OF THE PROACH AND THE CONTROLLES OF THE APPROACH OF THE CONTROLLES OF THE CONTRO

WATER NOTES

THE WATER SYSTEM SHALL BE CONSTRUCTED AND TISTED TO CONTINUE TO THE STANDARDS SET FORTH IN THE "DOHO REGULATIONS FOR PUBLIC DROWNIC WATER SYSTEMS", THE SALEZ PSPEROADISE DAYS.

CONTRIBUTION WARK TOT, RECONSTITUTION WITH ALSO, 15 OF CRY, OWN-L-CALERORY) PRICE CONTRIBUTED TO WARK TOOK THE PRESENCE CLASS TO SPECIFICATION. THINGS SHALL BE FOUTLE BRING CONTRIBUTED TO WARK TOT, THE PRESENCE CLASS TO SPECIFICATION. ALL IT THINGS SHALL BE FOUTLE BRING CONTRIBUTED TO PRICE TOT. THE PRESENCE CLASS TO SPECIFICATION OF SHALL BE IN CONTRIBUTED TO SPECIFICATION OF SHALL BE IN CONTRIBUTED TO SPECIFICATION OF SHALL BE IN CONTRIBUTION OF SHALL BE INCOME. AND SHALL BE SHALL B

AL WORK BANKS SALL MAKE KONE, IN FEET OF CORPS, MAZES ONTHEWER SATELLY OF THE MAZES WANT, THE TROOGE SALL BE COMPANIED TO NORTH-THE FEET OF STANDARD PROCTOR MANULU DIT UBSETS AS ETTEMBLED BY ALL THE SALL BANKS AND ASSESS OF THE SALL BANKS AND ASSESSION ASSESSION BY THE WANDS ASSESSION OF INFORMATION OF INFORMATION OF INFORMATION AND ASSESSION ASSESS

THE STANDARD ASSESSED OF THE WARNEST WAS DEATH ASSESSED THE ALMAND OF THE PORT OF THE THE CHARGE OF THE CHARGE OF THE THE ALL THE WARN OF THE WARNEST OF THE WARN OF THE WARN

ALL TES, CROSSES, WALKS, TYROWNS, PLUGS, CAPS, BONDS, AND OTHER LICKTONS WHERE UNBALANCED FORCED EXIST SHALL BE SECURED AND ANCHORED BY SUTNABL THRUST BLOCKING AS SYRON IN 1.5.P. &. ST.-403.

DIRECT BLIRNLA WIRE SMLL BE PLACED ALDING THE NORTH AND EAST SIDE OF WATER MANS AND SERVICE UNITS. WIRE SHALL BE INSTALLED IN THE GATE VALVE RISER SO IT IS ACCESSIBLE. FROM ABOVE BUT DOES NOT INTEREDER WITH VALVE OPPERATION.

THE CONTRACTOR SWALL COORDINATE DRECTLY WITH SUZZ INSPECTORS AND NOTRY SUZZ TWO (2) WORKING DAYS BEFORE INTIAL CONSTRUCTION BEGINS AND SWALL ALSO REQUEST INSPECTION OF WAIZE LINES AND APPUNTERWAGES THERTY-FOUR (24) HOURS IN ADMINES ON ADMINES. OF BACKFLLING.

8. THE CONTRACTOR SHALL RED. VERRY ALL WAVE BOX LID ELEVATIONS TO ASSURE THE LID ELEVATIONS MATCH FINAL STREET GRADE, AND THAT ALL METER LID ELEVATIONS MATCH AN EXTENSION OF THE SIDEMAL GRADE, CONTRACTOR SHALL INSPECT ALL WALVE RISEGS FOR FOREIGN DEBRIS.

9. FRE HTDRANTS SHALL BE INSTALLED 2 FEET BEHIND BACK OF CLAR.

10, METER BOXES SHALL BE INSTALLED 3 FEET IN FRONT OF SIDEWALK AND SHALL MATCH EXTENSION OF SIDEWALK GRADE.

TOWINGTOR BY PRESIDE ITSTALL WITHER LEGS. ATTEMPT AND FLOREST TOWN ON THE PRESIDENT OF TOWER UNDER TOWN TOWN THE PRESIDENT OF THE PRESIDENT OF THE PRESIDENT OF THE PRESIDENT OF THE PROSENCE OF THE PROPERTY 1

MANNIAM BIRK DEPTH FOR ALL WATER WANG, SWALL BE 4 FEET FROM FINGSED GRODE TO TO'D OF PIPE. JOUTHOW, DEPTH IS REQUIRED WHERE RECESSARY TO AVOID CONFLICTS WITH SPECIFICATION AND STRONGOMENCE. WHERE RECESSARY THE CONFINANCIAN SWALL ONEX-EXCHANTE TO A DEPTH THAT WANTANG A MANUAU CLEMANCE OF 18" AND SWALL COMPLY WITH SECTION AND CONFINE AND SWALL COMPLY WITH

SERVICES SHALL COMPLY WITH THE SUEZ STANDARD DRAWNIG NO. PS-1 FOR HOMIDIAL HERAICES AND STANDARD DRAWNIG NO. PS-5 FOR DUAL SERVICES

STORMDRAIN NOTES

DROP NLTS / CATCH BUSINS ON VERTICAL DIRESS SWALL BE ACHD REDISON TO THE ISPINC NLTT THPE I PER ACHD SID-603 WITH A 12-INCH SUIP AND THPE I GRAIT FOR NAMES ACHD SID-604 FLOOR HOUSED STORM SIZE OF WEIST S / CHIEF BUSINS WITH CONTED IN VERTICAL CHIEFS SHALL BE SPINC WEIST S / CHIEF BUSINS WITH CONTED IN VERTICAL CHIEFS SHALL BE SPINC NLTT THE II RER ACHD SID-603 WITH A 12-INCH SUIP SOUR DOOR DOOR DEADLESNERS AS RECESSARY TO ACCOMMODIFE LARGEST PRE DIMETERS. STORM DRAW PIER AND APPLIEDANICES SHALL CONFORM TO ISPINC DINSON 600, STORM DRAW PPE SMALL BE COKO PIC, SOFICK, CONFORMING TO ISPINC SECTION 400 OR PAC CONFORMING TO ISPING SECTION 601 WITH WATERTIGHT BELL AND SPHOOT JUNINGS BAILD FOR HS-25 TRAFFIC (JADING).

STORM DARN MANHOLES SHALL CONFORM TO ACHO SUPPLIEDED TO THE ISPING 3D-613, IF PPE ES GRANES. THAN 24-INCHES IN DARNING STAND SO-INCHES IN DARRIER.

INSTALL RIPRAY OUTST PROTECTION AT BOTH BUGS OF ALL CLAVERTS AND DAYLOHT INLST AND OUTST BUGS OF PIPES; RIP RAY SWALL CONFORM TO DETAIL AS SHOWN ON THE PLANS.

ALL DAYLOHT PIPE BIOS AND BOTH BIOS OF CULVER'S SHALL BIO IN A FLARED BIO SECTION AND FABRICATED METAL TRASH RACK CONFORMING TO THE TYPE OF PIPE MATERIAL USED.

ALL STORM DRAIN PIRE SHALL BE TESTED IN ACCORDANCE WITH THE LATEST EDITION OF THE EIPINC AND ACHD REQUIREMENTS,

INSTALL SLIF RETENTION BACS IN ALL INLETS. CONTRACTOR SHALL PERIODICALLY CLEAN OR REPLACE BACS UNTIL FINAL COMPLETION

ALL DRAINAGE FACILITIES INCLUDING PIPE, MANHOLES AND INLETS SHALL BE INSPECTED BY ACHDI

STRING MOMENTE. SET STRING MOMENTE CONTRACTOR LE IN ACCORDANCE, THE TISPING PROMISE SELFAT, IN THE WHOREL LINE TO REMAIN THE WHOREL LINE THE WHORE THE THE WHORE WHO THE THE WHO THE THE WHORE THE WHORE THE WHORE THE WHORE THE WHORE THE WHO THE

POSTS AND BACK

₹

HARRIS RANCH CID NO. 1 - ROADWAY & UTILITY IMPROVEMENTS FOR HAYSTACK SUBDIVISION NO. 1 (SUB20-00008)

	3884 13H-3	in the	SKOISIONS
	THE SHALL SHALL	3190	HILL
	9399530	8-11-2030	SIKIPPOD KRADS AND # GHTM MAK WEEK
1	HOG W HIM.	Coverage Co	THE RESERVE OF THE PROPERTY OF
Е	HUNK		
ı.	STY THE		
Ü	CIACIFO		
	e00		
	900	-	

GNOGAM GT0300 GT0300 FW Y W HWIGH		IN THYTIA OUR	1140 0402-11-6	STRUMNOS KRASS AUS # GAZM ROS GREAT
54 9 114		ADD B HE	24W-11-4	STATEMENT AND ASSESSED AS COMMUNICATION
SNORAM SOCIATION		SH THE		
		03108AM		

	3MM 734-3			SHC	REMER		=
	DIN TRICING ONE	1140			MJIII	-	-
	- 92H9530	0102-11-6	SIKIMA	193 K34	35 AUD *	CO-W M	A UE
	400 W HM.	more seeds	VIII.5344	SALLING	WAY AND A	10071000	A Care
	HHAN						
	SX 4 114						
	CIACINO						
	e00						_
	GMORAN						
	H00						

	800	1	
	400		
	GIACONG.		
	SH W HA		
В.	HUNK		
	ADC B HIS.	more sedi-	CONSTRUCTION OF THE POST OF THE PARTY OF THE
	9399530	8-11-2050	SIKIMMOD KRADS AND # CHOW MAK KIMAN
	DIN TRIZZE SHE	3170	AUTI
	3666 33F-3	design the	SKORNOR

		-		. 0		2	
	3884 THI-3	1000		SHORS	M38		
	DIN TRACES CHIEF	1140			MUII		
	9399530	0102-11-6	SIKIMMO	MAA35	対ける事の	CA RIVE GARD	
	ADD & He	Coverage Co	VIII. 200	TOVE S	A-10-11		
	HHAM						
	STY THAT						
	03633-0						
	e00						
	GSNOBAN						
	#00						

1		6	48 HOURS	SCHNOLL WITHIN THE ID TO BE	USED IN DUST	DEPOSITED AS CHARGE OF	DE OF TERM COMPACTED
3861 13F-3	2	3994 TH-3			- 51	BENZION	
DISTRIBUTE CHIEF	Die.	IN THESE SHEET	1140		-	MUII	
£2H9530		9349530	8-11-2010	SIKI	INDO K	CILL SEM	· CHOW MAKE STR
ACC W HIM.	X	OC W HM.	inor-s-4	i voice	- COUNTY	0.90 A-13	- presentation
HINNE		HINNE					
FH T HA	5	CH W HA					
GIADRO		GIADRO					
000	es.	00					
900	er.x	COLUMN AND AND AND AND AND AND AND AND AND AN	-	_	_	_	
	000						

_		_			_	
	500 500 500 500 500 500 500 500 500 500	DIADEC FINA HUMA E HM DHUSSA DIE GO FINA FINA	o orox-	11-4	5	
3. NO DEBRO, DRY, ACREDATE, OR ECKNITED MATERIALS, GRICK-TICKI SIPPLES, SHALL BE PACED ON THE PUBLIC ROOT-OF-WAY UNLESS FEMILITED BY THE AD COUNTY INCHINATED THE CONTROLLED OF THE PUBLIC ROOT-OF OF PUBLIC ROOTS FOR DIFFERENCE REQUESTED MATERIALS FOR ADMINISTRE BY PUBLIC ROOTS OF THE ADMINISTRE REQUEST THIS ROOTS OF THE ADMINISTRE BY THE PUBLIC ROOTS OF THE ADMINISTRE REQUEST THIS ROOTS OF THE ADMINISTRATION ATTIMATY PUBLICATION ATTIMATY OF MATERIAL ROOTS AS A CASE FIRST THE THEM THE WAY WHICH WATER THE ROOTS OF THE ADMINISTRATION ATTIMATY PUBLICATION ATTIMATY.	CONTINUES AND THE SAME SEE OF THE ROATE OF WAY BY THE COMPANION. MINISTER MELICATINE ANALYSIS OF THE ANALOGNET MUTHAL USINGLE, IS PLACED ON THE SAME SEE OF THE ROATE OF WAY BY THE COMPANION.	I, NO SOIS OR ACRECATE STOCKFLES ARE PRANTED ON UNDSTUBBED POSTICING OF THE PROPERTY WITHOUT PRIOR APPROVAL OF THE OWNER AND UNLESS EXISSION CONTROL. MEASURES ARE IN PLACE TO PREVENT OFFICE OFFICE SEDIMENT.	O, TH COATONS OF ALL EXERTING UTILIZES, AS SHOWN, WHITH MEEP EARLS, EEE PLASS, ARE APPROXIMATE IS MURC ON IMPLED THAT ALL EXISTING UTILIZES ARE SHOWN DR. SHOWN IN EXACT LOCATONS, CONTRACTOR IS RESPONSIBLE FOR RETAINING AND PROTECTION ALL UTILIZES IN THE ARCA, AND SHALL CALL LOLALING (242-1535) AT LEST 48. HOURS PRIOR TO COMMENCINE, CONTRICTORS, ACKNINGTORS, SHALL CALL DECLARED AND ALL CALL DICALLY COUNTRICTORS.	I, CLEARING AND GRUBBANG SHALL CONFORM TO LS P.M.C. SECTION 201 AND THE GEOTECHNICAL REPORT.	2 ECONITION AND BUBANGUET SAUL CONTIGNED TO LISPING, SECTION 202 AND THE GEOTECHNICAL, REPORTS. COMPACTION RECURREMENTS SAULL CONFIGURAT TO THE GEOTECHNICAL REPORTS AND THE CONFIGURATION SAULL CONFIGURATION FOR LISPING AND ALL SAULT SAULT AS A CONFIGURATION AND A CO	

ш	ᅜ	Ą
.="ω	<u> </u>	E CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF SEDIMENT DEPOSITED AS CONTROLLED DISCHARRE OF
335	ž	S M
폭통	8	63
₽e₽	5	ËŠ
용트를	ğ	90
- ASE	Ē	89
£52	8	2.5
౭₹చ	3	δĘ
준변성	ŝ	
ENE S	2	30
ĕ±₹	ดี	麗麗
-16 ·	8	88
A S S	8	7.0
28EF.	호	<u>ജ</u> e
Z-35	Ě	N. R
% ¥ 4 8	8	8,5
문단장된	2	윤
8858	겁	띰湿
ZZZ	Æ	⊒≝
いっ に に に に に に に に に に に に に	6	홄오
¥894.	ĕ	~ H
\$EDS	CI	5.₹
48.8	SS	2€8
₽ ₹ 3 2	Š	88
PORTS. COMPACTION REQUIREMENTS SHALL CONFORM TO THE GEDTECHNICAL, MICHAELE MONTHER SCT, MET AREAS OF THE SITE, AS IDEATHED WITHIN THE WO PACKPLLED WITH SUTRISE MATERIALS. WASTE AREA, DETERMINED TO BE PRECAMATION AND BACKPLL ACTIVITY.	WE JURISDICTION OVER DUST CONTROL PROCEDURES AND ADDITIVES USED IN DUST	ដូថ្មី

12 DOWARDA who Elementari SAUL, CORREST OF SETTING TO SET AS WITH TECTIONAL REPORTS COMPLETING RESIDENTS THE CONTINUE TO CORRECT SET, WITH ARRIVE OF THE SET, ARE DESIDENT SHOWN THE CONTINUE SAUL CORREST ALL SET, WITH ARRIVE OF THE SET, ARE DANKED WHO THE SET ARE DANKED WHO THE SET ARE DANKED WHO THE SET AND THE SET THE SET A	15 THE CONTRACTOR SHALL COMPLY WITH ALL PERTINEUT REBENAL STATE AND LOCAL AGENCIES WHICH HAVE JURISDICTION OVER DUST CONTROL PROCEDURES AND ADDITIONS AGENCIES WHICH HAVE JURISDICTION OVER DUST CONTROL PROCEDURES AND ADDITIONS.
12. EXCA REPO GEOTI UNSU	13. THE C

оотме	SEDIMENT LED DIS
Q.	PE
THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT REDEALL STATE AND LOCAL AGENCIES WHICH HAVE JURISDICTION OVER DUST CONTROL PROCEDURES AND ADDITIONS AND ADDITIONS.	CONTROL PARTIES HE RECESSED AND SALL CARRY WITH LES ALS, SETTING YOS, THE COMPACTION SALL BE RESPONSIBE TOR REMOVAL OF SEXUAD IN RESULT OF DEMENTION CONTROLLED OF SEXUAD SALL BE RESONABLE CONTROLLED OF SEXUAD SALL BE RESULT OF DEMENTION CONTROLLED OF SEXUAD SALL BE RESULT. HERICAL DESIRED OF SEXUAD SALL BE SALL BE RESULT OF SEXUAD SALL BE S
CONTROL	PRIOR TD (
DUST	SE RE
WER.	A C
URISDICTION	ONTRACTOR SHOW ON DEWATERING MENTS.
W.E.	프로 의 의 의 의 의
WHICH	CONST ALTY RE
AGENCIES	SECTION HORT TERM WATER DU
LOCAL	S P W.C
AND	€87 -23
STATE	WPLY W
EDERAL	4 4 4 6 8 8 8 8 8
E	결정
RTINE	₹63×
2	SI SI
₹	S S S
JM ≻	#ES
OMP!	토토
SHWLL (WATERING WATERING PRMITTED,
TOR	2 G S
THE CONTRAINABLE ABATEMENT.	CONSTRUCTION A RESULT OF DEWATERING

	일 하 원
a	오렇는
3	ទីនីឡ
NP.	§4₽
2	73 g
18	N B R R
¥	T GRA WE
H	S S S S
12	P A P P
0	See Walk
25	<u>ត</u> ្តក្នុង
Ē	₹55°
3	유로만
₹	EE 3.0
10 10 10	5 4 5 E
P.W.C	EE 22
NO.	AND AND D
¥	FÉRE
<u>F</u>	9958
a	9×3×
Š	54 % S
Ω Ε	\$ 88 8 8 8 15 8 8 8 8
2	A SECTION
7	SER SE
틸	유지하다
SSS	유토교원
ES.	A SEE
뉡	5 7 C H
Ä	SES
Ë	E SE SE
H	¥8.48
¥	352×
12	555E
Ę	25 S S S
NO.	Z & F.D
Ĕ	OHZE OHZE
Ē	91.65
ŝ	S Page
5	문장
15, WATER FOR CONSTRUCTION ACTIVITES SHALL BE THE SOLE RESPONSIBILITY OF, AND PROMIDED BY THE CONTRACTOR. ALL WATER USED ON-SITE SHALL BE NOMPOLLITED	Is TO GARGETS—THEN LOS SALE RESPONSED. FOR EXPONSED FOR EXPONSED TO SUCH CONTINUES OF ALL CONTINUES OF THE PROPERTY OF THE PRO
S. WA	도도국국
27	=

19. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A RESPONSIBILE PROOF TO WANTAN THE PROJECT (RODGEN AND SEQUENT CONTROL PLAN

SWPPP

CONTROL RESPONSE TO FILE IN ENGAGED TO THE TIME WITH AUTHOR WOOD WOOD TO THE RESPONSE THE INSTITUTION, MAIDWAGE OF ALL BREAKED THE WAS AN METSONS FAIR MY EXCHANGED THE RESPONSE THE WAS AN ADMEDIT PREPARED THE WAS AN ADMEDIT PREPARED THE WAS AN ADMEDIT PREPARED TO WHITE THE STATE OF THE CONTRACTOR SALL DESIGNATE. A SIDE OF CERTAIN THE STATE OF THE CONTRACTOR SALL DESIGNATE. A SIDE OF THE WAS ADMEDITED TO THE WAS ADMEDITED.

RECORD DRAWINGS

CONTRACT WISE TRANSPORT OF () COMPLIES OF CONTRACTOR MOMENTS UPON WHITE THE CONTRACTOR A FAND AN ACCOUNT EXCOSOR FOR ALL CONTRACT WISE. THE CONTRACTOR SALL PROJECT RECORD FOR ACLALL LOCATIONS OF ALL CONTRACT WHITE ALL THE STAT OF PRINTS. AT THE COMPLICTION OF THE STAT OF PRINTS. AT THE COMPLICTION OF THE STAT OF PRINTS. AT THE COMPLICTION OF THE CONTRACTOR SHALL PRINTS WHITE STAT OF PRINTS. AT THE COMPLICTION OF THE CONTRACTOR SHALL PRINTS WHITE WHITE ALL THE CONTRACTOR SHALL PRINTS WHITE WHITE WHITE ALL THE CONTRACTOR SHALL PRINTS WHITE WHITE SHALL PRINTS W

POWDER COATED STREET SIGN AND POST NOTE

CONTRACTOR WILL BE REPROVISIBLE FOR SUPPLYING AND INSTALLING ALL STREET SIGN POLES AND SCANGE TO MATCH EXISTING SIGNS AT DALLAS HARRS ESTATES. OF ALL SIGNS SHALL BE POWDER COATED BROWN TO MATCH EXISTING POWDER COATED POSTS AND SIGNS.

Plans Are Accepted For Public Street Construction RECORD DRAWINGS

Date RIVERIDGE ENGINEERING COMPANY

SHEET 2.1 OF 15

WORK SWALL BE DONE IN ACCORDANCE WITH THE LATEST SEMER SPECIFICATIONS AND STANDINGD OF THE IDAMO STANDINGS FOR PUBLIC WORKS CONSTRUCTION (SPINC), BOSE PUBLIC WORKS OFFMETHADIT AND/OR THE ADA. COUNTY HIGHMAY DISTRICT (ACHD) WOORICATIONS TO THE ISPING. THE CONTRUCTOR SAULL CONSTRUCT HE SAURIARY SEMER IN ACCORDANCE WITH THE STAMPED PLANS, APPROPED BY THE BOUSE CITY PUBLIC WITHOUS DEPARTMENT, THESE PLANS WILL BE PROMISED TO THE CONTRUCTOR BY THE PROJECT NESPECTOR PROPER PROMISE TO CONTRUCTOR BY THE PROJECT NESPECTOR PROPER PLANS.

FINAL APPROVAL AND ACCEPTANCE OF ALL SEWER CONSTRUCTION WILL BE BY THE BOISE CITY PUBLIC WORKS DEPARTMENT.

SPERS RESTORES WILL BE FIVE BEST CITY PAILLY WAS RESPONDED. BE CONSISTED BY FIRE THE SET WILL BE CONSISTED BY BY IN THE CITY PRESENT P

2447 S. Vista Ave. Bolse, Idaho 83705 Ph. (208) 344-1180, Fax (208) 344-1182

STE GROWS SHULL CHÉTORE TO THE LUISSE STITION OF THE LUHY STRAGHOS FOR FUBLIC MORNS CHOSTRUCTION HAD THE GEOTECHNICLE REPORTS PREPARED BY STRAIN, TITLED PROTOCOMED CHORD CHORD CHORD CHORD SHULL HAVE AT LESS ONE COPY OF THE STSPING. FOR REPERBORE, AT ALL THISS DAINNE CHOSTRUCTION.

THE CONTRACTOR SYALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPICIABLE SMETY LAWS OF ANY JURISDICTIONAL BODY. THE CONTRACTOR SYALL BE RESPONSIBLE FOR ALL BARRICLORS, SWETY DEVICES, AND TRAFFIC CONTROL WITHIN AND ARCUND THE CONSTRUCTION AREA.

SECRETARIES RESPONDED THE THE RESPONDED OF THE COMPACTANE AND SALE DESCRIPTION AS A DOMINAL TO THE PROPERTY OF THE CONTROL OF THE WANTAUT, DEPOSED ON WE WERE SALE OF THE CONTROL OF THE C

Сошрапу

STRP TOPSOL WITHY EARTH WISK LIMITS AND STOCKPILE FOR RUTHE USE, STRUCTURAL FILL AREAS MUST HAVE ALL YGESTATON RELIONED AND BE PROOF-ROLLED PRIOR TO PLACING OF ANY FILL. TOPSOL SHALL BE GENERALED AND STOCKPILED PROM STRIPPING AN AREDAGE OF 6-MCHES THROUGHOUT THE PILL STR.

THE WATER TO PRICEDENT OF THE WINDLE THE CONTRACTOR SAUL CLORA THE STIT OF ALL WASTE WINDLESS WAS PRESTABLE THE SUBRISCIE, AS RECOMENDED IN THE PROPERTY AND INSTRUCTOR TO A STITE WHITH WARRS PAIRS, AS DESCRIPE OF THE SUBRISCIE AND OPINEL THE PROPERTY THING THE PROPERTY THE

THE CONTRICTORS SHALL INCESSARY ACTION TO WHALE DEPOSITION AND TRACING OF WALL DROTHER SHALL OF THE PUBLIC RESTLICT-WAY. THE WANTEN SHALL RESPONSELE FOR ANY CLEAN-UP OF THE PUBLIC RESTRICTOR—WAY OR ADJUSTED FROM ET PROPERTY FROM ANY TRACING ON DEPOSITING OF MUD. DRIT, SHAD, GRAIN, ROCK, OR OESTS.

Engineering

SPIRS CONSTRUCTION WILL WETS SPECIFIC DETAILS NO REQUIREDIENTS OF THE IDANO STANDARDS FOR PUBLIC WORKS CONSTRUCTION INCLIDING BOSE CITY REVISIONS, BOSE CITY REVISIONS, TO THE ISPINC STANDARD DRAWINGS ARE ANALUGEE ONLINE AT <u>WITH CITOLISMISCORE</u>.

Ś ø 7

THE CONTRICTOR SMALL INSTALL A REJOUNDE PLUG UPSTREAM OF SSAM 19053 BETWEEN SSAM 19053 AND SSAM 19051. THIS PLUG SHALL REJAIN IN PLACE DURING CONSTRUCTION UNTIL FINAL ACCOPTIANCE OF THIS SEMER PROJECT. GROUDWIND LIRES SHALL BE MAININED BELOW THE BITTOM OF THE TRENCH DURING THE PIPE LOWIN ORDERATIONS. ALL MANHOLES LOCATED WITHIN LIMITS OF SEASONL, GROUDWINTD SHALL HAVE THE EXTERIOR OF ALL CONCRETE SURFICES COATED WITH THO COATS OF COAL TAR EPOYN.

SPAKE LINES SHALL BE JAMBOD IN ACCIDILATE WITH THE SPECIFOLITIONS AND STANDARD DRAWNG SD 512, SCRVICE LINE MARCOS SHALL RELAVAR, IN PACES DRAWN AN OLD WHERE KNOF DRAWN AND CONTROLLED WHEN EXCENDED THE ROOF DRAWN MARCOS STANDED. WHEN STANDED MARCOS SHALL DRAWN AND STANDED. THE ROOF DRAWN MARCOS STANDED MARCOS.

ALL STATIONING RELATES TO THE CRANTY SEWER CENTERLINE.

THE COMPACTOR SHALL PROMIE BOTS CITY'S INSPECTOR WITH "CUT SHEETS" THR THE STANING PROMISED FOR CONFIDENTIAN OF THE SAWIMPY STARP. "CUT SHEETS" SHALL BE PROMISED TO THE BOSE CITY DEPARTMENT OF PUBLIC WORSS, ASPECTION, FISCHON, FRORT TO THE COMPANIEDAT OF CONFIDENTIAN.

PROR TO CONTRUCTION, TEACHAGE BENCH MARKS (TBM'S) SAUL BE SET IN THE TREA BY A LICENSED SURFICIOR OR BUGINEER AND SHALL BE PLACED, AND CLEARY VISBLE FROM ALL TO BECTIONS A TIME SHALL BE LOCKED, WHIN 1988 DATUM. NO DEST OF THE TREAT TO THE WAY 1988 DATUM. THE SAULH AND EAVAINENT TO THE WAY 1988 DATUM. 12

SERGE REWIN CORDS OF GERETATINAN ETES, DALLA ESELA AND SPORT, PROTUNCE, CHORGE CATES, SER AS, AND LA CAUSE, REWINDER, CHORGE CATES, AND LES DATTE, ROW OF AND SERVICE TO THE REWINDER OF A SET FORTE AND CHORGE CATES. SO, A RESET RING OF SINGLE CONTINUE DATTE. IN CONTINUE WANGE DAS SET AND SET OF CORD SAME. SE DATTE RING CHANGE, IN CARRIER TO THE SET OF COMMENT IN CARRIER OF SET OF SAME SET OF CORD SAME. SET OF CHANGE IN CARRIER OF CARRIER OF SET OF CARRIER OF CARRIER OF SET OF SET OF SET OF CARRIER OF SET OF CARRIER OF SET 5

15 THE PANNS CONTRACTOR SHALL SET THE GRADE RINGS AND POUR THE CONCRETE COLLIAPS PER STANDARD DRIVING NO. SD 508. THE PANNS CONTRACTOR SHALL CONTACT ACHO 24 HOURS PRIOR TO POURING CONCRETE COLLIAPS.

17. THE BOSE PUBLIC WORKS DEPARTMENT HAT DISPLACE OF THE SCHOOL PEDLINE BEDDING. TESTING WILL BE DONE BY AN INDEPONDENT TESTING LUBENDARY THE CAST OF THE STATE TO AN INDEPONDENT THE STATE TO AN INDEPONDENT THE STATE TO CONTRACTION. THE BOSE PUBLIC WORKS DEPARTMENT AND ADDRESS TO STATE THE STATE CONTRACTION. THE WORSE PUBLIC WORKS DEPARTMENT AND ADDRESS TO STATE THE STATE OF STATE THE TOTAL THE TOTAL THE WORKS TO STATE THE STATE OF STATE THE STATE OF STATE THE TOTAL THE TOTAL THE WORKS TO STATE THE STATE OF STATE THE STATE THE

18. THE CONTRACTOR SALL LEME THE DICHARTION FOR THE UPSTREAM BIG OF ALL SERVICE UNISS OPEN FOR PILED VARIANCION OF THE IMMOST ELEMBEN OF THE COTT'S INSPECTOR THE WORSE LINES OF SERVICE LINES OF

19 PROR TO FINAL ACTETANCE, ATTER ALL UILLIES ARE IN AND PROR TO PANNG, AN AR TEST SHALL BE CONDUCTED. THE CONTACT THE CITY OF BOSE A MANAULU OF 24 HOURS PRIOR TO TESTING, ALL MANAULUS SHALL BE TESTED IN ACCORDANCE WITH THE EPINC AND BOSE CITY'S MODIFICATIONS. THE SEMEN WAN SMALL BE TISTIO FOR DETICATION IN ACCORDANCE WITH THE ISPMC AND BOISE CIT'S MODIFICATIONS. ALL SEMEN LIMES SMALL BE TIELDINSD WITH A CLOSED CITICATION CANERA IN ACCORDANCE WITH THE ISPMC AND BOISE CIT'S WORTHOWING WATER SAMLL BE PRESENT. 20

INFAMENTIAL OF LINE INFERRINCE OF THE INFORMATION THE BROBERTA OF INFERRINCE ROWINGERING OF VIAL BEHADOON FOR A WORLD OF THE INFERRING OF THE

SANTING STERN RAWGEL LOS S-SAURTAN STEEN BANKED, CROSES SAULL BE IN ACCOUNTAGES STANDED STEEN BANKED STEEN STEEN BANKED STEEN STEEN BANKED STEEN STEEN

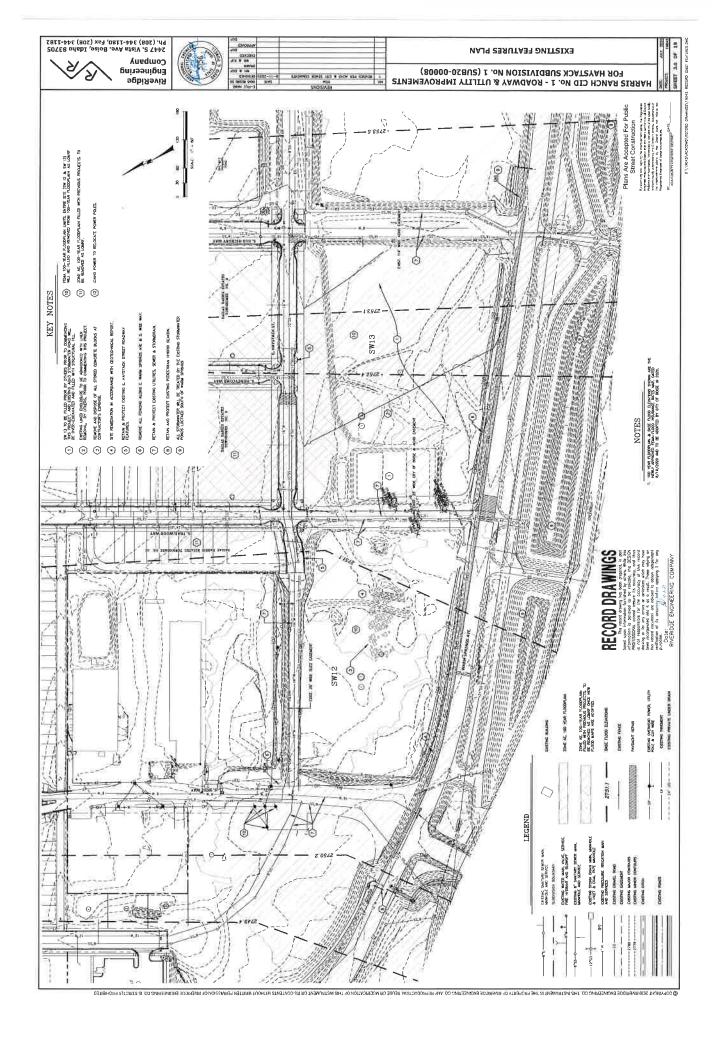
TRENCH BACKFILL NOTES

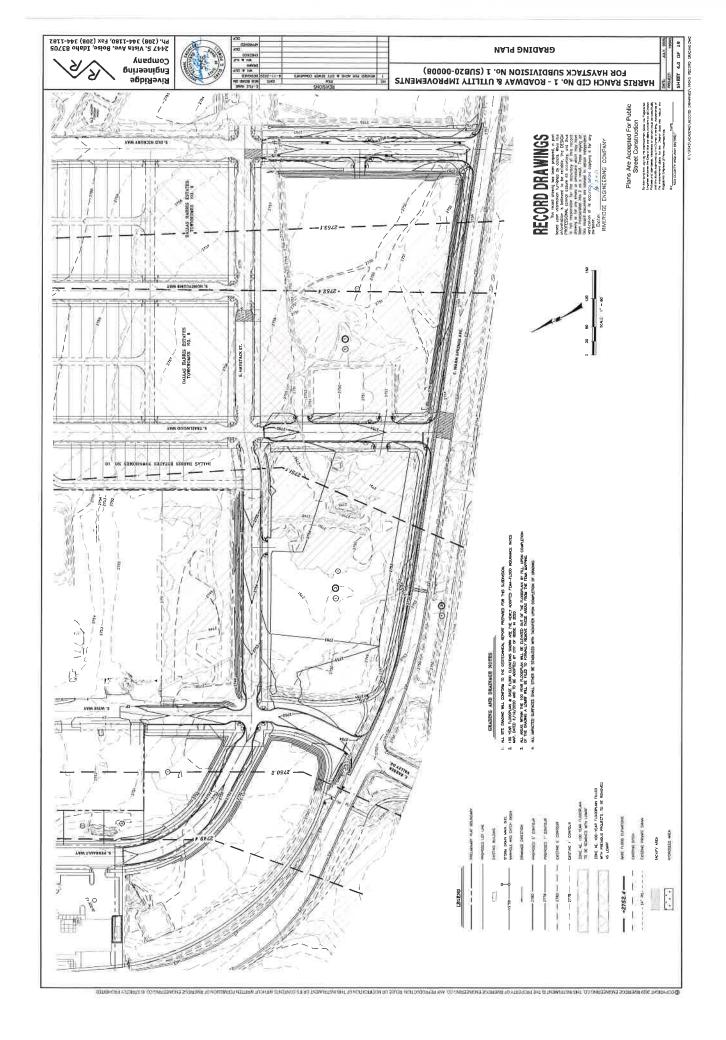
ALL TRENCH BACKFLL USED ABOVE THE PIPE ZONE SMALL BE B—INCH MAINS GRANLAR AGDREANE PIT BITN CONFORMING TO ISPING SECTION BOT, ETHER TROW THE DIM-STRUCTURAL FILL EXCENTED SOURCES. EXCANATION OR MIPORTED BORRICH SOURCES. EXCANATION THE POND LIMITS SHALL NOT BE USED FOR TRENCH BACKFLL, BUT SHALL BE USED FOR OVER LOT STRUCTURAL FILL. THE NATIRE TREACH CICARATION NATIONALS THAT ARE INTIDIOSD TO BE REPLACED AS TREACH BUCKFILL INTERALS MAY ONLY BE USED FOR THIS PURPOSE MITH ACHO INSPECTION STAFF. 2

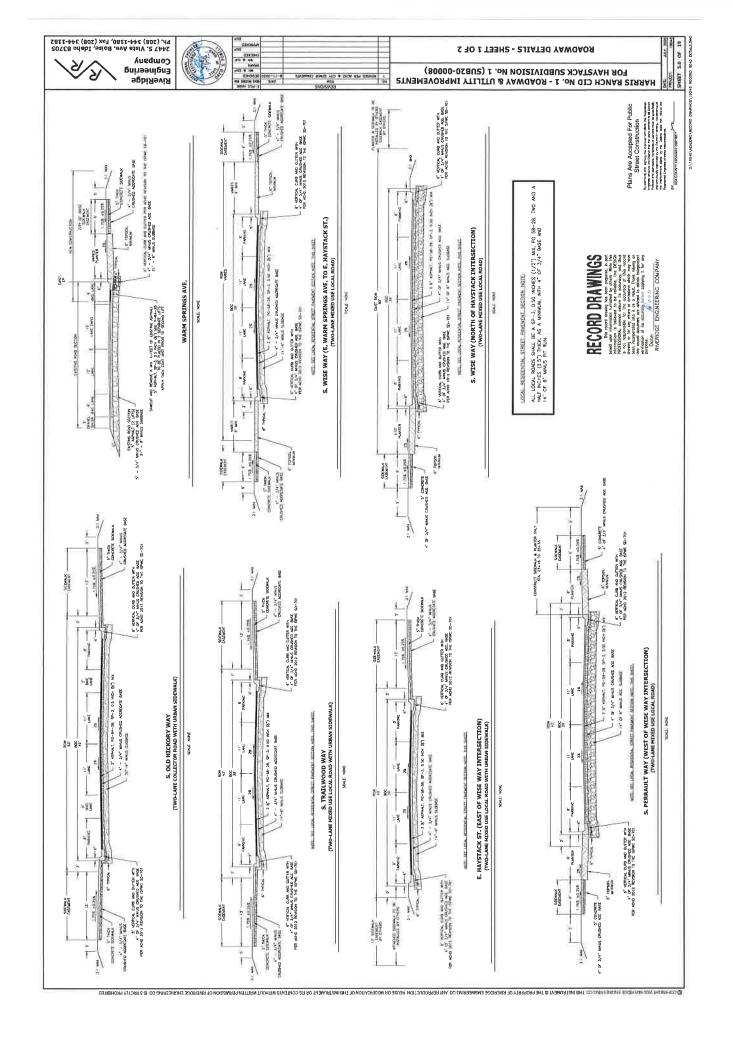
ALL ROADWAY UNDRUSHED AGGREGATE SUBBASE MATERIAL SHALL BE IMPORTED. +1

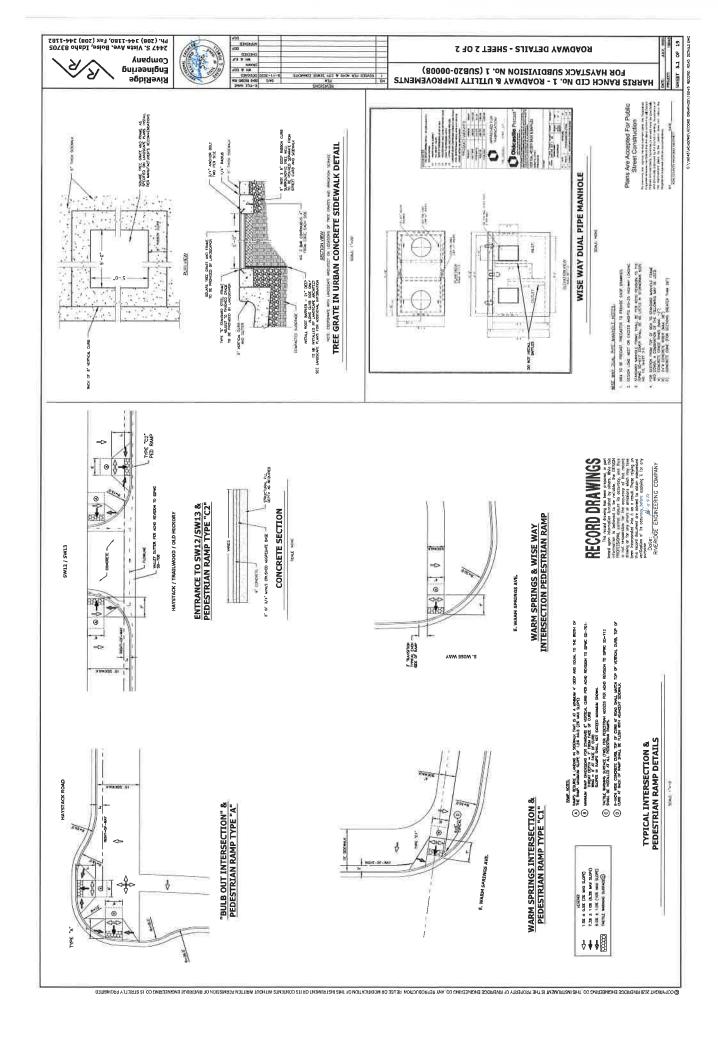
4.0

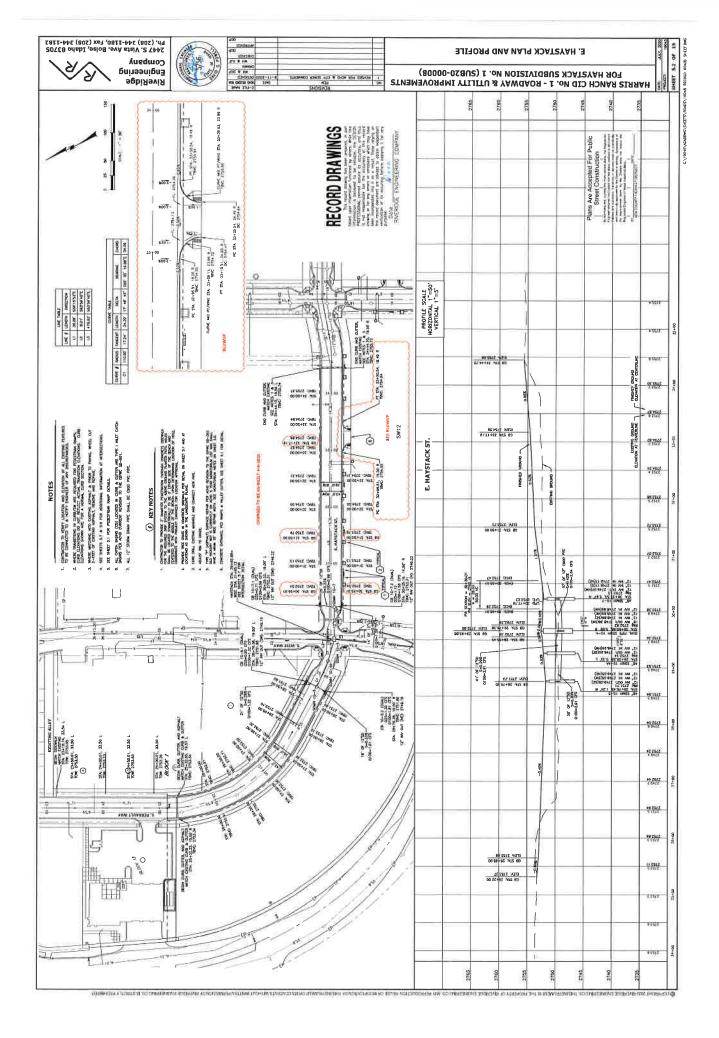
49 9 9

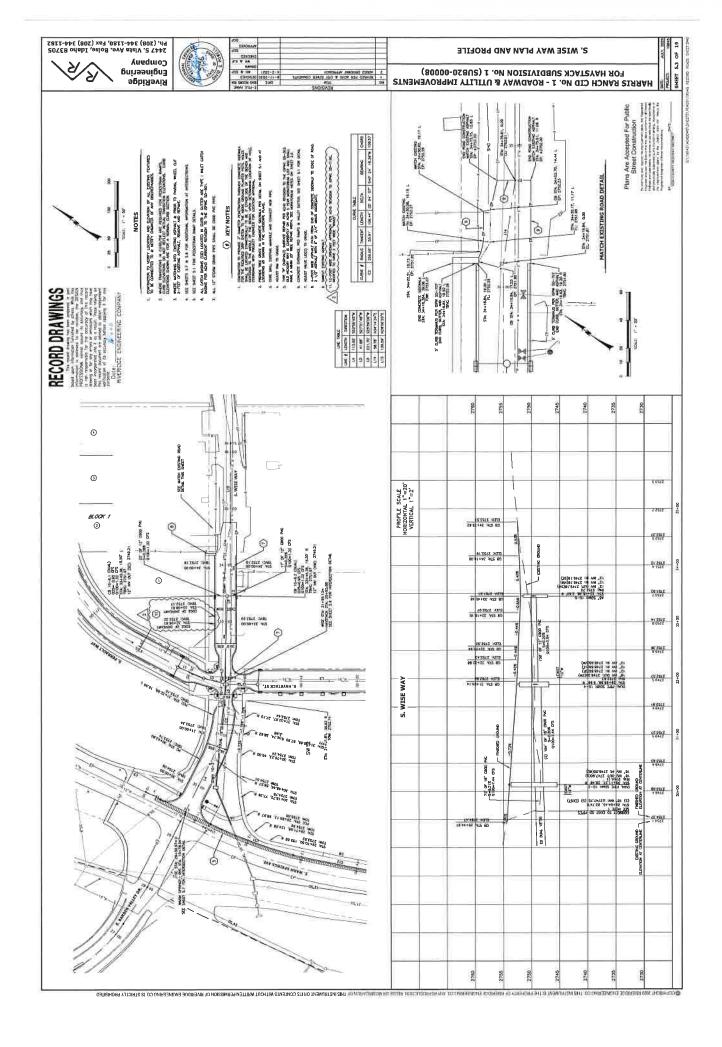


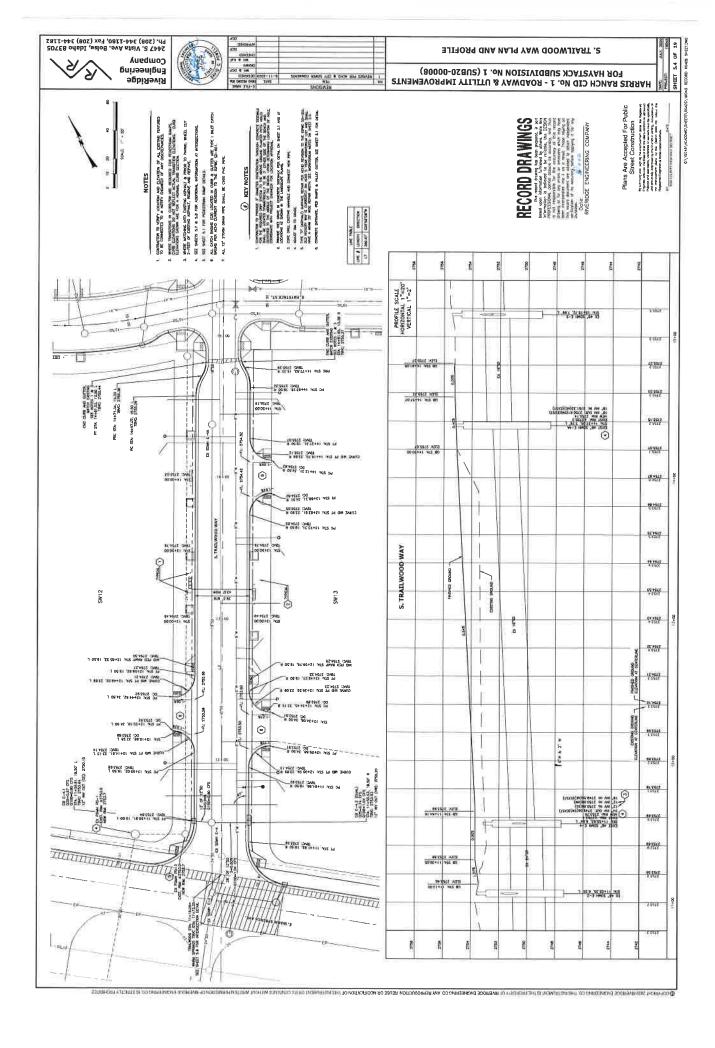


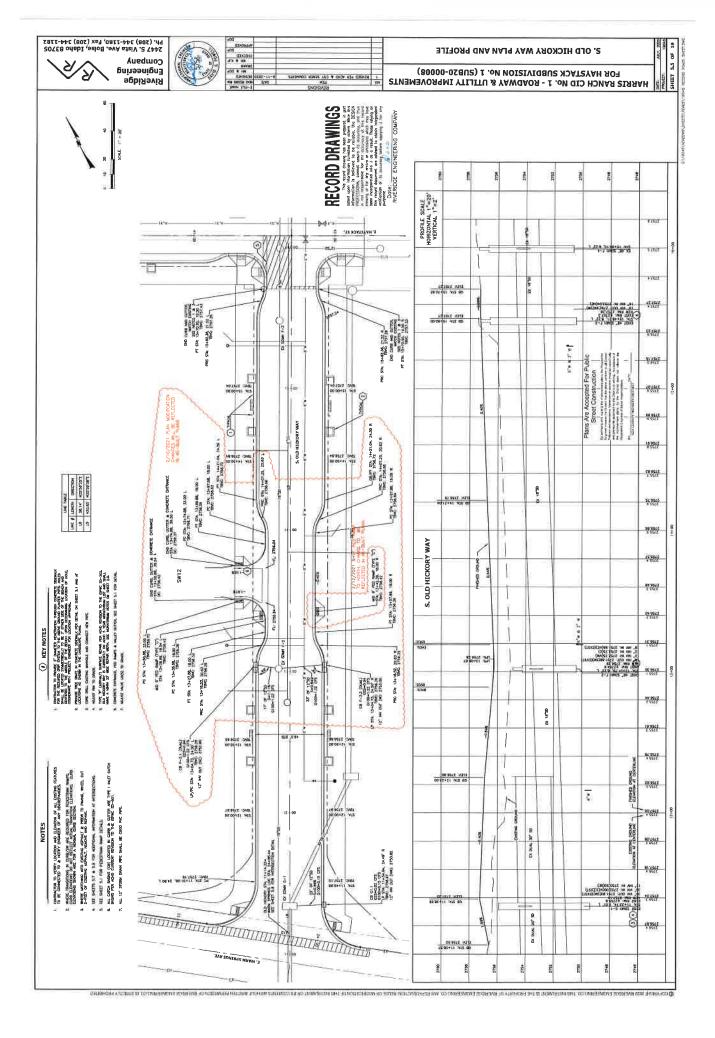


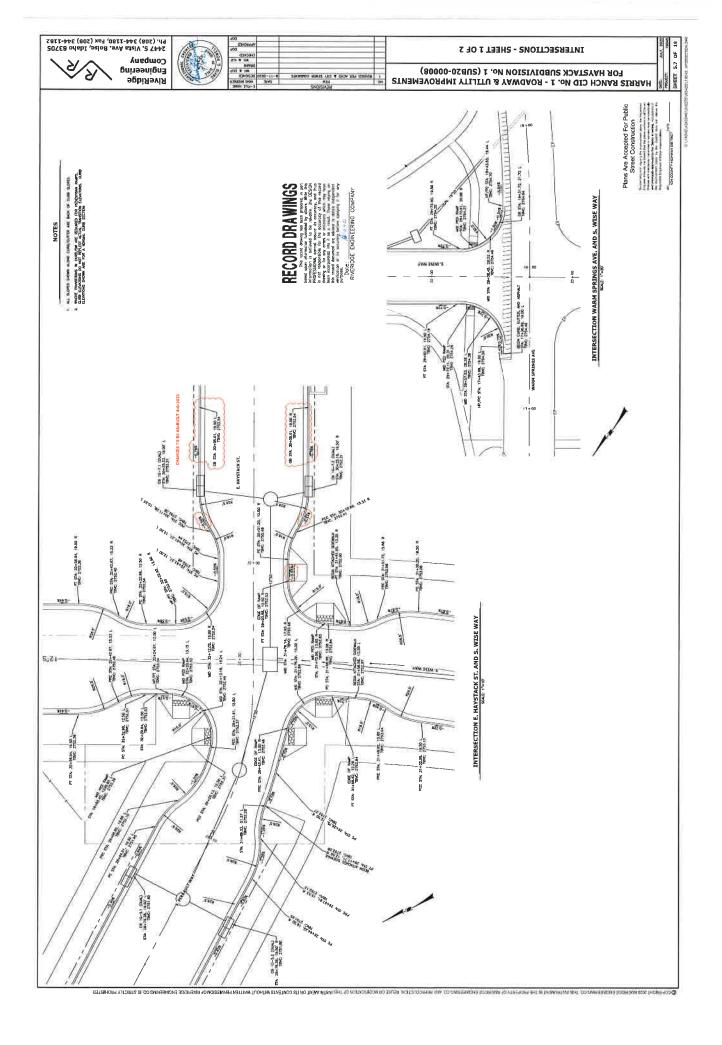


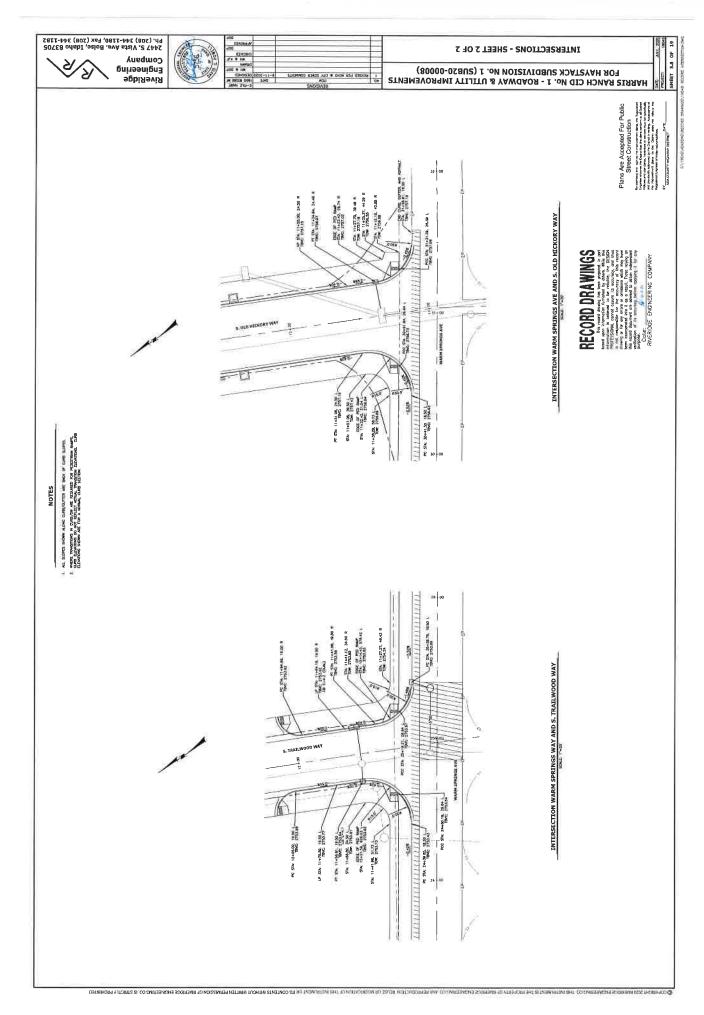


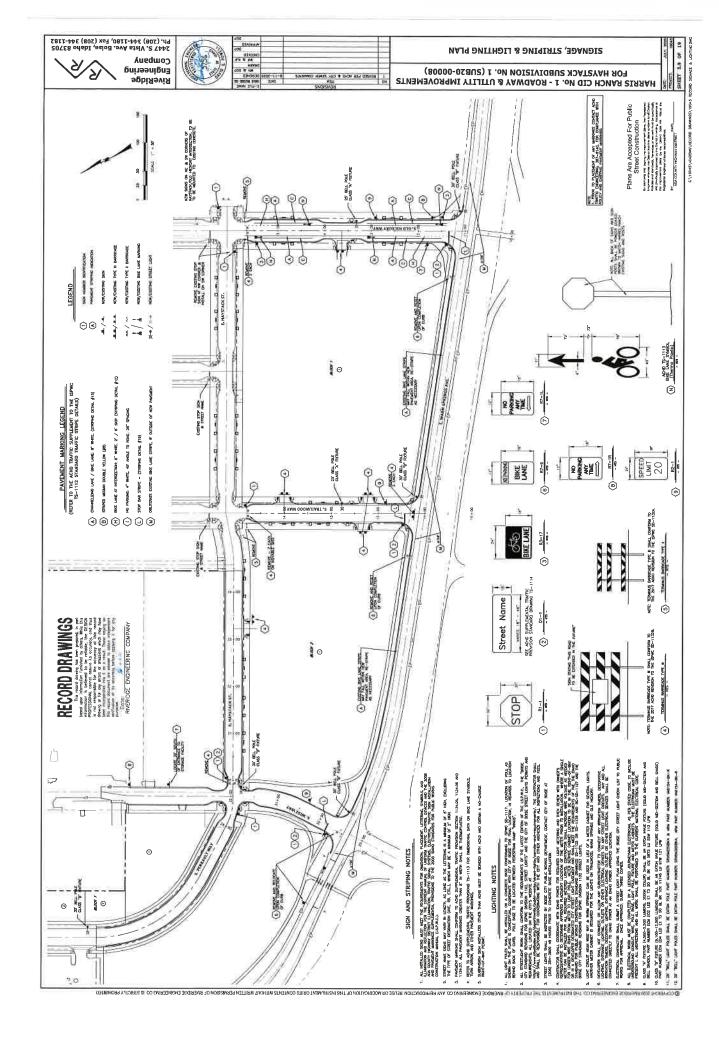


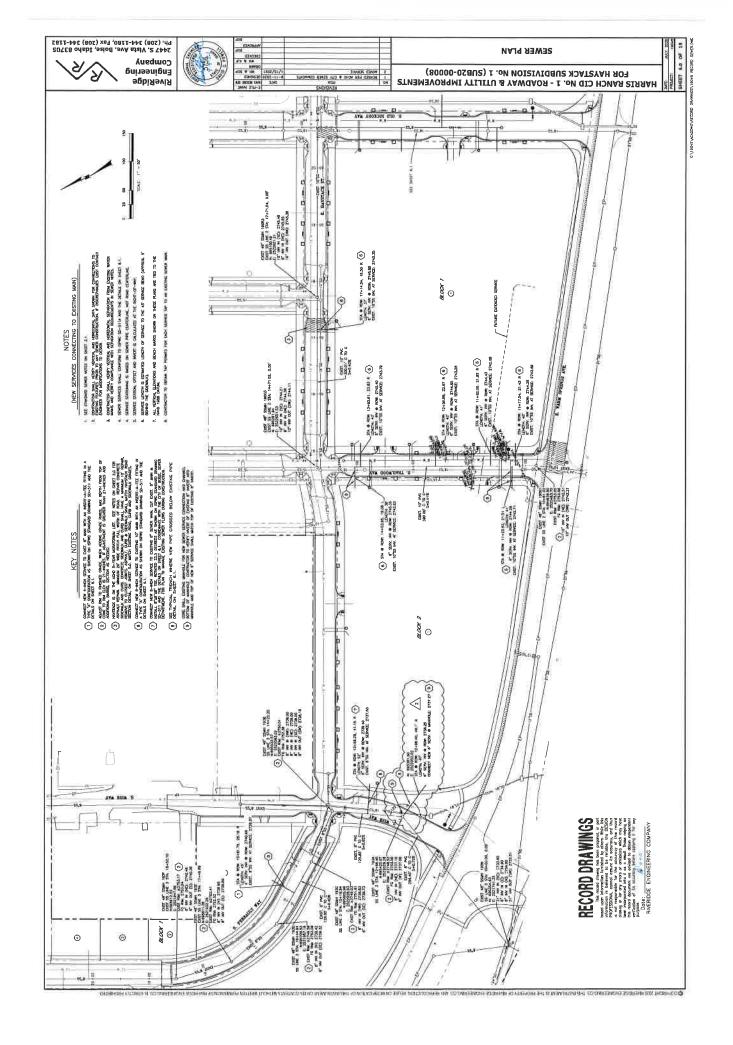


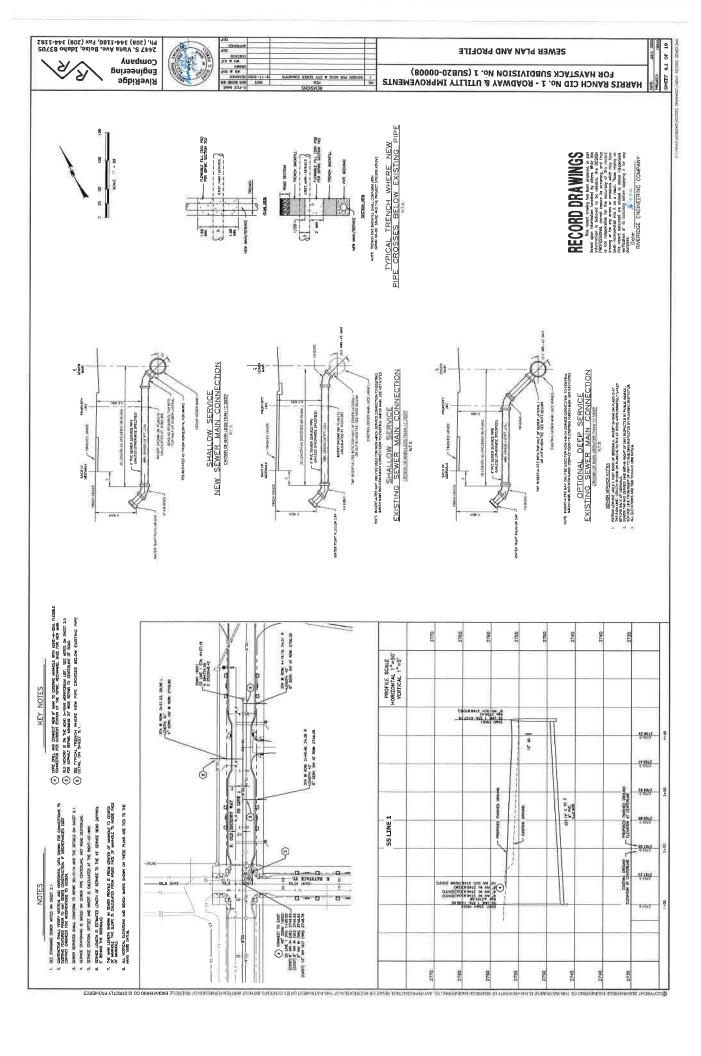


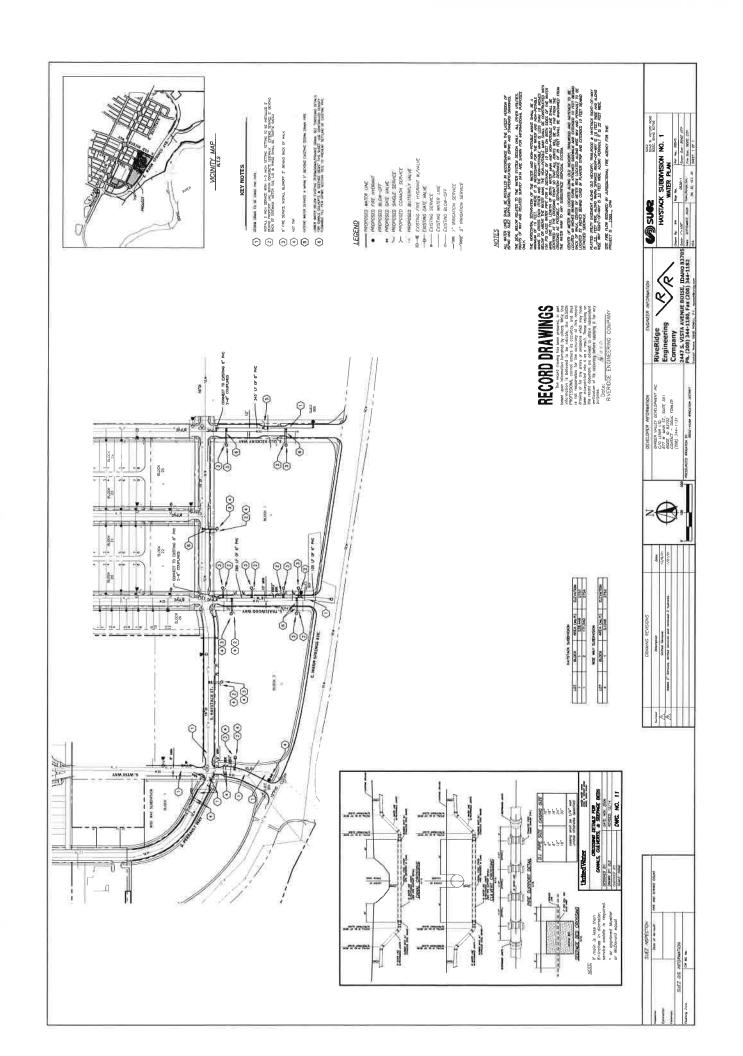


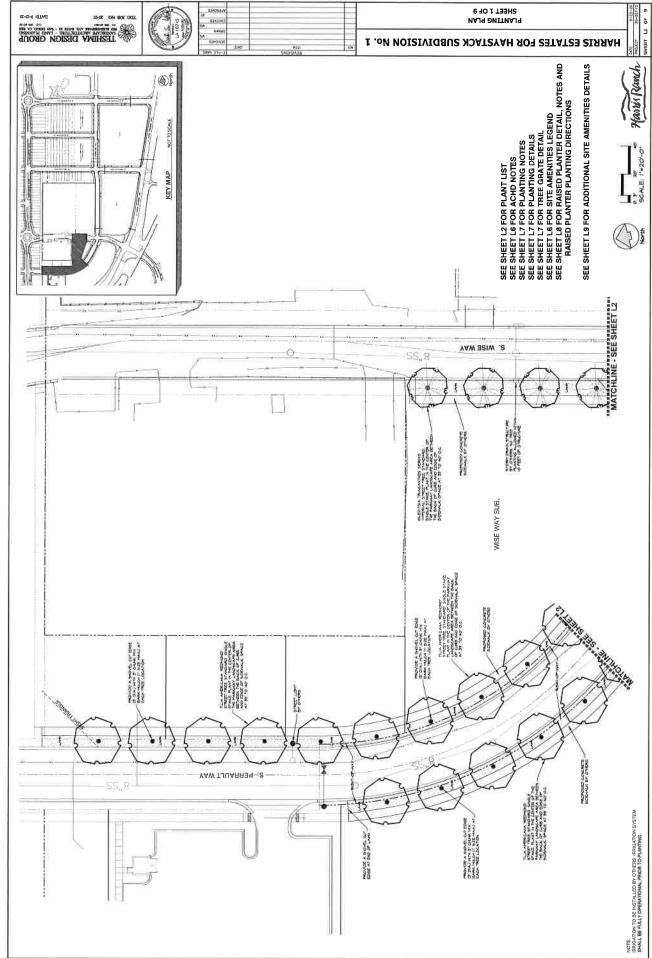












07-67-6 GUM

694053







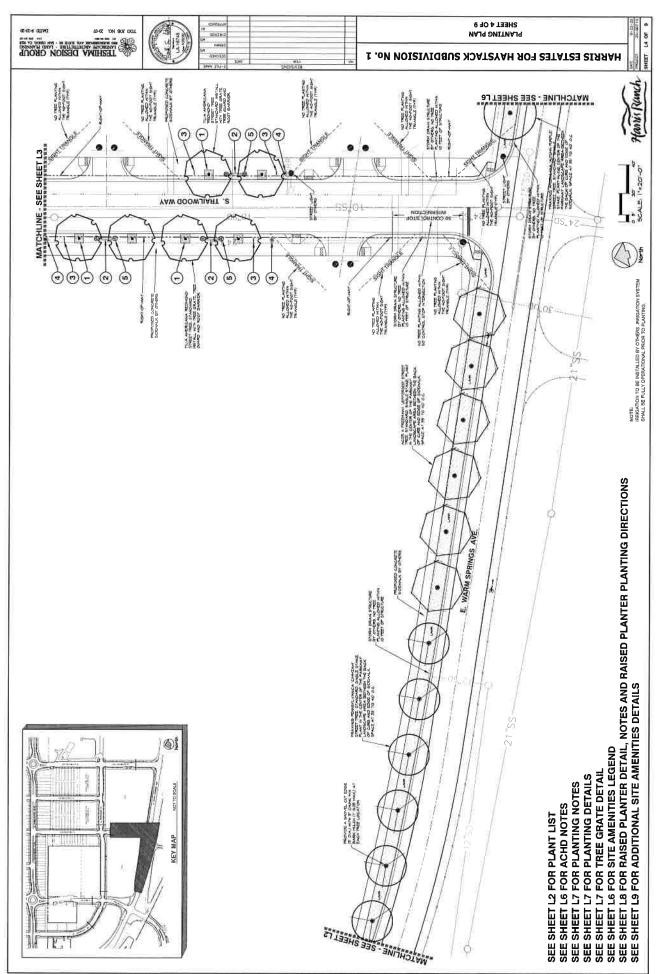


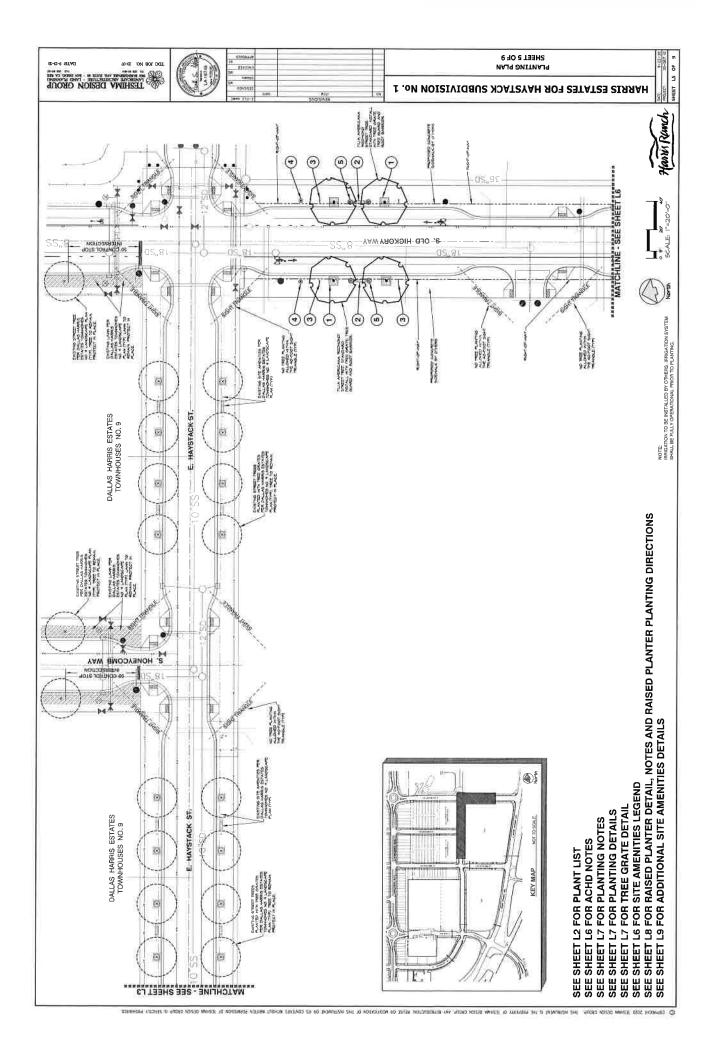




NOTE: IRRIGATION TO BE INSTALLED BY OTHERS. IRRIGATION SHALL BE FULLY OPERATIONAL PRIOR TO PLANTING.

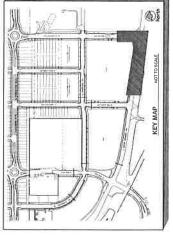












MATCHLINE - SEE SHEET L5

(e)

OFD HICKOBA MYA

0 (0)

STREET THE STANDARD HETCH WITH THE SHARE THE SHARE THE SHARE SHARE THE SHARE S

(9)

(m)

SO THEE P. MITTING ALLOHOUS SECURITY STORY INTERSECT.

SCHOOL COCKET

STORM DRAIN FACILITY REQUEREMENTS

Bench (11 listal), Bench shall be Dulkor Series \$5 Bench in Brotze.
Powder Coated Friche. It known was available from Sammag.
Receivable ILC Contain Jewinnal Width at 801 608 2291. \$2 burface nount per immulateurin arteris

(0)

AMBIER NOTE: If the grafts with nost barrier. Root barrier ahail be EP Ser met (R* Deep) as manufactured by NDS.

9

Bite Reck (17 tobal), Bite Reck shall be Dulvor Loop Bite Reck 83 May 25 Suffee bourtin Bornze Provider Cented Frinch as available from Sourtak Recreation, U.C. Contact Jeremiah Webb at 801-809-2241. Install per manufacturar's astructuras.

⊚

④

1. ONLY CLOSS I TREES MAY BE PLANTED UNDER ON WITHIN 10-LATERAL FEET OF ANY OFFICE OFFICENCY CHIEF PAY OFFICENCY CHIEF CANCEPY SI MINIMUM 14-2007 TERRITOLA CLEARANCE FROM SIDEMANCY OF REC CANCEPY SI MINIMUM 10-FEOTY TERRITOLA, CLEARANCE FROM SIDEMANCY OF REC CANCEPY A CONTRESION STREET WITH PLANTE PROFILE OF THE CANCEPY OF THE CANCEPY ACCURATE ACCURATE

CLEARANCE REQUIREMENTS

NO TREES WITHIN 40-FOOT SIGHT TRIANGLE.
NO VEGETATION OR OBSENCE TRIANGLE SOOKS, BRANS, STRUCTURES, FENCING) T
NAILY SEETS AT MANUARITY WITHIN SIGHT TRIANGLE.
NO TREES MATHEN FITY (SO FEET ON THE APPROACH SIDE OF ANY CONTROL STOP
UNTRIBESCITION.

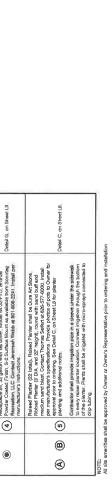
ACHD NOTES

SIGHT DISTANCE/SIGHT TRIANGLE:

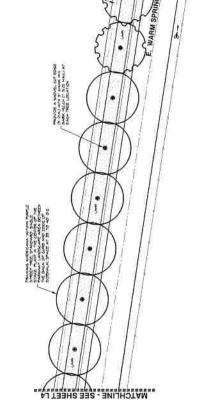
DETAIL/SHEET REFERENCE

SITE AMENITIES LEGEND

THEE PLANTING OF ANY TYPE SHALL BE PROHIBITED WITHIN 10-FEET OF ANY STORM, DRAIN FACULY, SHOUTCHES, PHORMS SYSTINGS, THE HYDAWISS ON UTLIF BOXES. TRANKING SYSTEMS AND MINIMAL OF THE MOST OF SEEP AND AND THE MOST BE OF SEEP AND AND THE OFFER TROM EDGE OF SEEPAGE BEDS.







SEE SHEET L2 FOR PLANT LIST
SEE SHEET L7 FOR PLANTING NOTES
SEE SHEET L7 FOR PLANTING DETAILS
SEE SHEET L7 FOR TREE GRATE DETAIL
SEE SHEET L7 FOR TREE GRATE DETAIL
SEE SHEET L8 FOR RAISED PLANTER DETAIL, NOTES AND RAISED PLANTER PLANTING DIRECTIONS
SEE SHEET L9 FOR ADDITIONAL SITE AMENITIES DETAILS

Hanris Rumch

200-00 P

NOTE: IRRIGATION TO BE INSTALED BY OTHERS IRRIGATION S SHALL BE FULLY OPERATIONAL PRIOR TO PLANTING,

HARRIS ESTATES FOR HAYSTACK SUBDIVISION No. 1

4 ROOT BARNES WITH ALL TREE
CHATE, ROOT SHAPIES WITH ALL TREE
CHATE, ROOT SHAPIES SHALL SEE TO
CHATE OF THE SHALL SEE TO
CHATE OF THE SHALL
CHATE OF THEE GARTE GALL BE CON 9.0.
THEE GARTE GALL BE CON 9.0.
NATIONAL LINE STATE OF THE WARDS.
WITHOUT WHITE STATE OF THE WARDS.
THAT STATE OF THE CARL AND THE STATE OF THE CARL AND THE STATE OF THE CARL AT THE CARL - SOME THE GRATE AND TRACE AS STATED OF LANGEAUR FLAND. NOTALL PRINAMENCHERS. RECORDEDATOR JAF ANCHOR BOLT i ii 8 PRELIMBIARY PLAN VIEW NAME OF STANS SOFT SPAINS ALLET TO FISHED SHALL ALLET STATE OF THE IN USE OF PARTS CUR AND OUT H BACK OF 8' VIDEL 1 ALL AREAS TO BE PLANTED SHALL HAVE WEED ABATEMENT OPERATIONS PERFORMED ON THE HEAD HAVE HAVE AND THE CONTRACT OF CONTRACT OF SHALL SHAW ALL EXPOSED WEEDS WITH A ROUND-P CONTRACT SET SHALL SHAW ALL EXPOSED WEEDS WITH A ROUND-P CONTRACT SO NOT WHITE HOW AT LESS TEACHER IN THE WAY AT LESS TEACHER TO HAVE SHAWNED FERD WEEDS FIND WEEDS FIND WEEDS FOR THE WITHOUT SOME WEEDS SHALL BE SHECKEDED TO SHALL SHE WEED SHALL BE DIRECTED TO BERDOM A THIED PREDICATION.

ONTHING FOR ALL LESS TEACHER ON THE WEEDS WEEDS WEEDS WEEDS WEEDS WEEDS WEEDS WEEDS WEEDS SHALL BE WEED SHALL BE WEED FIRST. THE TIME OF FLANTING AND HYDROSEEDING, ALL PLANTING AREAS SHALL BE WEED FIRST. TOPSOIL REQUIREMENTS, ASTM D 5288, PH RANGE OF 5 5 TO 7, FOUR PERCENT ORGANIC MATERIA MINIMUM, FREE OF STONES ½ INCH OR LARGER IN ANY DIMENSION, AND OTHER EXTRANEOUS ALL LANDSCAPE AND (RHIGATION (BY OTHERS) INSTALLATION SHALL CONFORM AND FULLY COMPLY WITH THE CITY OF BOISE AND ACHD STANDARDS

UPON COMPLETION OF PLANTING OPERATIONS AND BEFORE ANY SITE OBSERVATIONS REMOVE ALL EXTRANEOUS MATERIAL AND DEBRIS, AND BROOM AND WASH THE THE ACLEAN.

IRRIGATION TO BE INSTALLED BY OTHERS, IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL PRIOR TO PLANTING.

WEED ABATEMENT NOTES

ANY EXSTING LANDSCAPE THAT IS DAMAGED AS PART OF THIS PROJECT SHALL BE REFAIRED AT NO COST TO DIVIDER.

PRIOR TO PLANTING. IRRIGATION SYSTEM (BY OTHERS) SHALL BE FULLY OPERATIONA AND ALL PLANTING AREAS SHALL BE FULLY WATENED IMMEDIATELY AFTER PLANTING PRIOR TO PLANTING, ALL PLANTING AREAS SHALL BE FREE OF WEEDS, ROCKS AND DEBRIS. RAKE AND FINE GRADE ALL PLANTING AREAS PRIOR TO PLANTING

SUBMIT PHOTOGRAPHS OF TYPICAL TREE FOR EACH VARIETY AND SIZE, TO BE PROVIDED UNDER THIS CONTRACT FOR APPROVAL BY THE LANDSCAPE ARCHITECT THE TO DELVERY TO THE PROJECT SITE. ALL PLANT SIZES ARE MINIMUNIS. SIZES ARE TYPICAL FOR EACH PLANT SPECIES. ALL PLANTS ARE TO BE FREED OF DISEASE AND SCARS. AND TO HAVE GOOD CALIPER. FULL HEADS AND GOOD CALIPER.

ALI, PART MATERIA, SKALL SE, PROMODE, YT NE PROJECT STEEV THE MATERIANS AND THE MATE

CONTRACTOR TO INSTALL # OF CHUNK MIX BARK MULCH (1* SIZE MAX) IN ALL LANDSCARDE REFS. (NOT PLANTS DE DEST THAN 2: SLOPE WANT TO SHAPE ARE SHAN 2: SLOPE WANT SHAPE AND SHAPE THAN SHAPE THAN SHAPE WANT SHAPE WA

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS PRIOR TO COMMENCING LANDSCAPE INSTALLATION.

INTERPRETABLE AT THOROUGH STIMOTOR STEED BY ALCORED AGROOM IN THEE THOROUGH STIMOTOR STEED BY ALCORED AGROOM IN THE STEED BY ALCORED AGROOM IN THE STEED BY ALCORED AGROOM STEED BY ALCORED AGROOM STEED BY ALCORED BY AND AT THE STEED BY A STEED

PLANTING NOTES

LECHTINY DESIGN CHARLE AND ADDRESS STREETS AND

6 TO 8 X2X2 STAKES, 1 PER TREE

PRUNE ALL DEAD AND INJURED WOOD DO NOT CUT LEADER

(S) LAWN (SOD)

(a) ATTACH STAKE TO TREE WITH GREEN TREE TAPE PROVIDE A TREE GUAND TO PROTECT THE TREE TRUNK.

© CONSTRUCT 4" EARTH BERM BASIN (SHOVEL CUT AT EDGE OF SOD), 32 DAMETER FILL WITH 3" CHUNK MIX BARK MUCH ("SIZE MAX"), KEEP MULCH AWAY FROM TREE TRUNK

(i) NATIVE TOP SOIL ERE SPECHICATIONS

(ii) THIN BACK BULLAR, TOP 17 OF BULL

KEEP GROUND LINE SAME AS

SERVED AND SAME AS

SPECIES SOME ROOTENLES WILL HAVE

SPECIES SOME ROOTENLES WILL HAVE

THEN AT THE WINSERY

CONTRACTOR SHEARTH MENTALLED HAVE

THE AT THE WINSERY

CONTRACTOR SHEARTH MENTALLED HAVE

THE FILE OF WINDER SHEARTH MENTALLED HAVE

ATTER TREES HAVE BEEN PACKED IN THE

REME HOLE, BUT REED REMOVER ITS

ADDED OUT BUT AD

THEN AND SHEARTH MENTALLED HAVE

ADDED OUT BUT AD

THEN AND SHEARTH MENTALLED HAVE

ADDED OUT BUT AD

THEN AND SHEARTH MENTALLED HAVE

THEN AND SHEARTH MENTALLE

9.6

WASH THE STREET

6

Dig a hole 3 limes as wide as the root ball and the same depth as the tree was planted in the nursery, hole are rough and uneven. This helps the roots become established in the native sos.

ROOT BARRIER NOTE:
ALL TREES INSTALLED WITH TREE
GRATES SHALL HAVE ROOT BARRIERS
(24" DEED). SEE TREE GRATE DETAIL
FOR ROOT BARRIER TYPE.

③ 2" TO 4" COBBLE/GRAVEL BASE, 1 DEEP ® DIG HOLE 3 TIMES THE SIZE OF ROOTBALL

- Constitution with the classifund to do not be too of the too total is leave with or slightly higher than the curricutding placked.
 There is in a serie beautifund to contribute the contribution of its places.
 It is the place are not a curricular with the contribution of its places.
 It is not to contribute the contribution of cutted in the integrity of the cost bell full call to possible to many the places.
 It is not those they windly the full. So places the treatment of the possibility of the source of the cost of the cost of the source of the cost of the building half wind down the cost time.
- 4. With the remaining soil, build a busin around the edge of the fillied hole. Fill the basin with water several times and allow it to sook into the root ball between each filling. Add soil where excessive settling has occurred.
- 5 Fill the basin with 3" of chunk mix back mulch (1" Siza Max.). Do not place chips describ against the trunk

6. State the tree as a

DECIDUOUS TREE PLANTING AND STAKING DETAIL

WEED ABATEMENT PROGRAM

Preparation: Fill the spray lank with the required amount of wate ninturo. Agilabs Ihoroughly at mixing and ro-agilate

Rates: Above mixture may be used at rates from 3% to 10% volume to volum water.
Vee the bower rates for tank mining with glyphosate and medium Vee the buyer above to weeks less than 6 inches in halight. Apply mindure at the higher rates for weeks greater than 6 inches in hei

INSTALL WITH TREE GLAARDS. TREE GLAARDS SALL BE GRANDS SALL BE GRANDS GLARD. CUSTON, 48 IN LEGGAT AND GRANDS TO WARD FOR SALL BE GRAND. THE GRANDS SALL BY SALL BY PROVINCE FREE GLANDS IN STREED PROVINCE FREE GLANDS IN STREED PROVINCE FREE GLANDS OF THEE GLANDS IN OWNER PROVINCE TO WREE GLANDS TO OWNER BY COA THEE GLANDS TO OWNER BY COA THE GLANDS TO OWNER BY COAT TO THE COAT TO OWNER BY COAT TO OWNER B

THEE GUARD NOTE

TREE GRATE DETAIL

POL PAM.
INCLEASE, AND OTHER IMPORTED FILL IMPERIALS OTHER THAN TOFSOIL SHALL.
INCLESSOROUS IN PROPOSED IMPROVIDES AREAS, NO GRANGE, ONE DOCK MATERIALS.
LES STOCKOFLED ON TEMPORARIE! YEAKED IN PROPOSED LANGSCAPE AREAS TO PREPARE
SCAPE FARCE MONE BIRNED CONTAMINATED WITH POCK MATERIALS SOUTHACTOR SHALL
IN A CETALLED STOCKOFLE BANY TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL.
3 TO ANY EMPTHAMORY OPERATION.

DIL STOCKPILE LOCATIONS TO BE COVERED COORDINATED WITH EROSION AND SEDIMENT

Timing: For fasts full, apply on a warm, surny, day, bo not apply during windy conditions that could carry spray to desirable wegatation in nearby locations.

Hanris Runch

SHEET L7 OF 9

MINIMUM, PEEC PET STORES, LINK OFF LAGGER IN ANY DIMICHAGNA AND COMES CONTRIBUTIONS.

10 TOPSOL SAULE DE FUERTIE. PRAIRE, MAILOR OFF LAGGER IN ANY DIMICHAGNA AND CONTRIBUTIONS.

2 TOPSOL SAULE DE FUERTIE. FINALE, MAILOR LAGGER IN ANY DIMICHAGNA AND CONTRIBUTIONS.

2 TOPSOL SAULE DE FUERTIE. FINALE, MAILOR LOUAN, SUFFICES COLL. FINELS CONTRIBUS CONTRIBUTION.

2 TOPSOL SAULE DE FUERTIE. FINALE, MAILOR AND CONTRIBUTION.

3 STREED AND CONTRIBUTION.

3 STREED AND CONTRIBUTION.

3 STREED AND CONTRIBUTION.

4 PLACE TOPSOL LOUAND CONTRIBUTION.

4 PLACE TOPSOL LOUAND CONTRIBUTION.

5 STREED AND CONTRIBUTION.

5 STREED A CHIRCLE OF WOODS AND SECOND OF THE WORLD OF THE WORLD WINDS WITH WORLD OF THE WORLD

TOPSOIL NOTES







1 Gallon

RAISED PLANTER 'A' - SYMBOL ON PLAN (A) FALL AND WINTER PLANTER

RAISED PLANTER 'A' - SYMBOL ON PLAN (A) SPRING AND SUMMER PLANTER

Bt Op

Bulb

00-02-6 STAG

SPRING AND SUMMER PLANT LIST FOR RAISED PLANTERS

SIZE

Gallon

Sweet Caroline Light Sreen Sweet Potato

₽ M NS å Ę.

ğ



1	٦
March 1	1
OF WISH	1
(N 2"5 W)	ł
	ŀ

	#355566F		t
V:	281		Τ
N.	01(03)-0		Т
Y23	T/A		Τ
leg.	:needc		Т
e A	SA.		T
	0390430	200	Ť
	A STATE OF THE REAL PROPERTY.	TIME	t
	7um 3.7-2	-	

		THE PLANE	
The second	3UV)	M30	
03M2x830			
A			
:nweid			
/A			
01403+0			
all I			
4134054min			

HARRIS ESTATES FOR HAYSTACK SUBDIVISION No. 1

SHEET LA OF 9 Hanris Runch

FALL AND WINTER PLANT LIST FOR RAISED PLANTERS

CODE	BOTANICAL NAME	COMMON NAME DITY SIZE	5	SIZE	NOTES
60 CL	Brassica oleracea 'Peacock'	Peacock Flowering Kale 3 1 Gallon	n	1 Gallon	1574 k 1879. Place in tal and writer only
B B	Brassive pleraces "Osaka White"	Osaka White Flowering Kale	ec.	1 Gallon	1874 a 1870 Parminterdwriter Only.
×	Sinecta common and	Dusty Mitter	Ω.	12 TiGalast	1874s TW. Plant in tall and selfcor
ę.	Ophopogon planacopus 'Nigrescans'	Black Mondo Grass	12	+ Galor	OH x 6W Grass to remain from season to season Mantain as needed
£	Pervisitum appoortuars Barguraty Bunny	Burgundy Bunny Fountain Grass	sft.	1 Gallon	18"H x 18"W Gress to remain from season to season. Maintain as needed.

RAISED PLANTER 'B' - SYMBOL ON PLAN (B) FALL AND WINTER PLANTER

RAISED PLANTER 'B' - SYMBOL ON PLAN (B) SPRING AND SUMMER PLANTER

DURA ART STONE

d

RAISED PLANTER NOTES

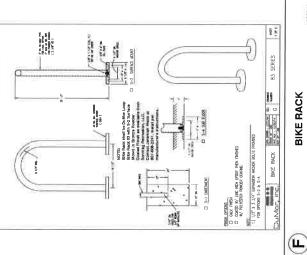
- Contractor shall provide adequate drain layer of 2" drain rock at the bottom of p
 - install garden top soit in every

ELEVATION - SECTION

PLAN VIEW 200 RAISED PLANTER DETAIL, PLANTING AND NOTES

HARRIS ESTATES FOR HAYSTACK SUBDIVISION No. 1

NOTE:
All alse amenities shall be approved by Owner or Owner's
Representative prior to ordering and installation.



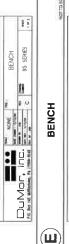
Œ-17-6 BIM)

100

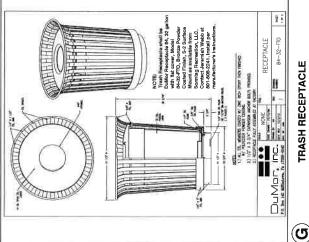
1

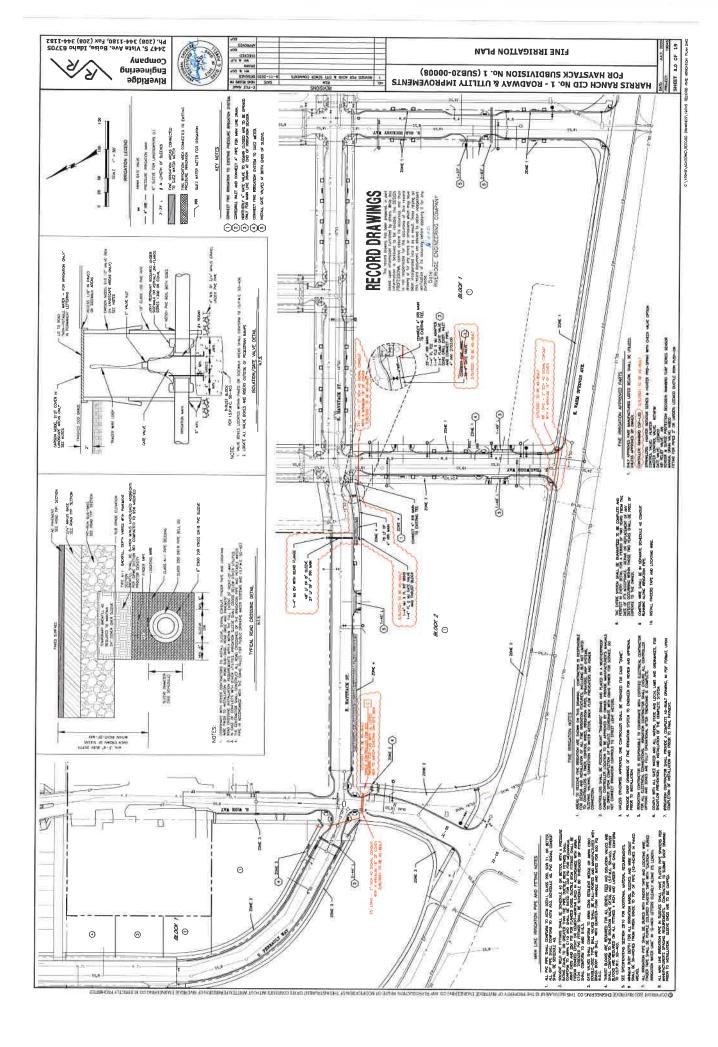
LESHIWY DESIGN CHOOL

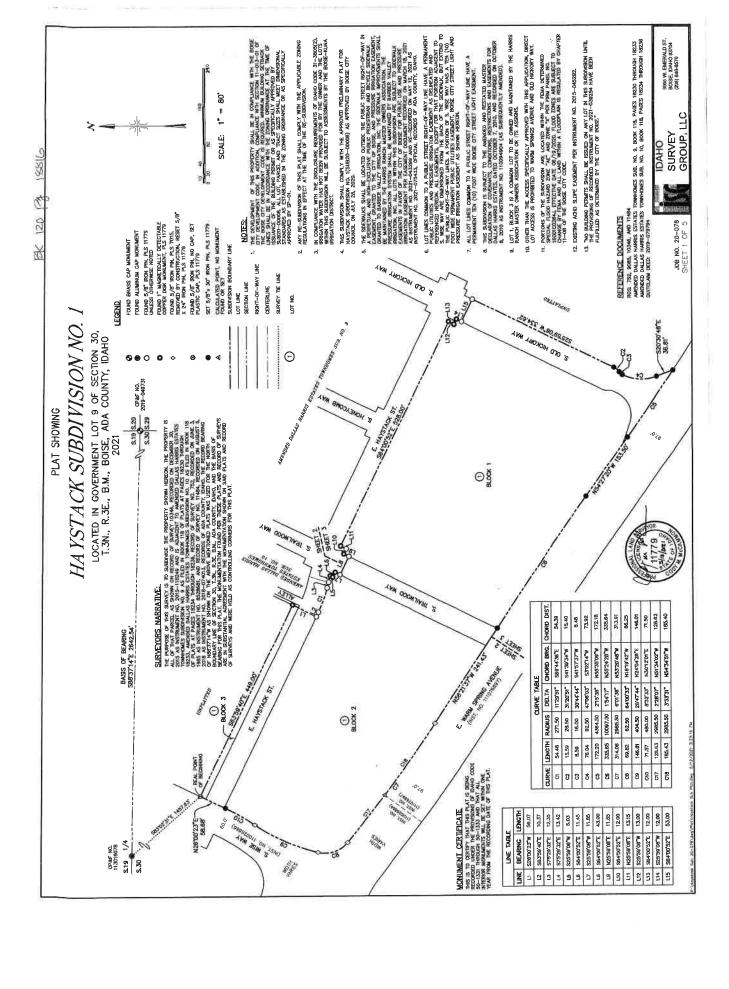
BIKE RACK



DIGH OFTDIS







HAYSTACK SUBDIVISION NO. 1

CERTIFICATE OF OWNERS

KNOW ALL MEN BY THESE PRESENTS. THAT BARBER VALLEY DEVELOPMENT, INC., AN IDAHO CORPORATION, IS THE OWNER OF THE PROPERTY DESCRIBED AS FOLLOWS.

A PORTION OF COVETNIMENT LOT 9 OF SECTION 30, TOWNSHIP 3 NORTH, RANGE 3 EAST, BOISE MERIDIAN, CITY OF BOISE, ADA COUNTY, IDAHO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS.

COMMENDEN AT THE 14, CORNER COMMENDEN TO SAID SECTIONS 19, AND 30, T.SM. R.ZE. BLM. FROM WHICH THE SECTION CORNERS COMMENDENT SECTION TO SECTION THE SECTION CORNERS COMMENT OF SECTIONS 19, 20, 29, AND 30, T.SM. R.ZE. BLM. BECKS SOUTH BOXOZI F. EAST, 14,57,55 FET TO THE SOUTHWEST CORNERS OF A PARCEL CONVERSION AN WARMANT FORD RECORDED ON DECEMBER 12, 2018 AS INSTRUMENT NO, 2019—117038, RECORDS OF ADA COUNTY, AND THE REAL POINT OF BEGINNIO.

THENCE ON THE SOUTHWESTERD, SOUNDARY LINE OF SAID PARCEL, SOUTH 63759'40" EAST, 449.00 FEET TO THE CONTRIBUTION OF THE SOUTHWESTERD, SOUTHWEST

DISTANCE DESCRIPTION FEET,
SOUTH 252902 WEST, 11.46 FEET,
SOUTH 252902 VEST, 11.46 FEET,
SOUTH 252902 VEST, 11.46 FEET,
SOUTH 252902 VEST, 11.46 FEET,
SOUTH 252902 EAST, 12.40 FEET,
SOUTH 252902 EAST, 12.40 FEET,
SOUTH 452902 EAST, 12.40 FEET,
SOUTH 452903 FEET,
SOUTH 452903 EAST, 12.40 FEET,
SOUTH 452903 FEET,
ANGLE FOR SOUTH 45290 FEET,
SOUTH 452903 FEET,
SOUTH 452903 FEET,
ANGLE FOR SOUTH 45290 FEET,
ANGLE FOR ADAPTICATION FEET A CENTRAL ANGLE FOR ADAPTICATION FEET, A CENTRAL ANGLE FOR ADAPTICATION

CONTAINING 10.69 ACRES, MORE OR LESS

IT IS THE WINTHON OF THE UNDESSIGNED. TO HERBY INCLIDE THE ABOVE DESCRIBED PROPERTY IN THIS PLAT AND TO DEDIGATE TO THE PROBLET. THE ELECABORTS AS SHOWN ON THIS PLAT, THE ELECABORTS AS SHOWN ON THIS PLAT, THE ELECABORTS AS SHOWN ON THIS PLAT, THE ELECABORTS IS REFERRED ON THIS PLAT, ARE NOT DESCRIBED TO THE PROBLEMENT OF STREAM OF THE PROBLEMENT OF THE

2021. IN WINESS, WHEREOF, THE GRANTORS HAVE CAUSED THIS INSTRUMENT TO BE SUBSCRIBED THIS 12 TO DAY OF LANDERS BARBER VALLEY DEVELOPMENT, INC., AN IDAHO CORPORATION

DOUGLAS FORMER

ACKNOWLEDGEMENT

STATE OF IDAHO)

COUNTY OF ADA S.S.

ON THIS 17 DAY OF NAMED 2021, BEFORE ME, THE UNDERSCRED, A NOTARY PUBLIC IN AND FOR SAID STATE, PRESCRIPTOR A PREPARED OCCUSAS FORMER, ANOWN OR DISTRIBED TO ME TO BE THE PRESCRIPT OF BARBER VALLEY DEVELOPMENT, INC., AN IDAYO CORPORATION, THAT EXECUTED THE INSTRUMENT OR THE PRESCRIP DE SAID.
SAID CORPORATION, AND ACKNOWIEDED TO ME THAT SUCH PRESCN EXECUTED THE SAID.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.

am manus NOTARY PUBLIC FOR IDAHO
RESDING AT: NOT COMMISSION EXPIRES: 715.5

CERTIFICATE OF SURVEYOR

I, CODY M, MACAMMON, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR LICENSED BY THE STATE OF MACAN AND THAT INST LAT SO ESCENCED IN THE "CÉPTIFICATE" OF OWERSEY, WAS DRAWN FROM AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY DIRECT SUPERVISON AND ACCURATELY REPRESENTS THE POINTS PLATTED THEREON, AND IS IN CONFORMITY WITH THE STATE OF DUANC CODE RELATING TO PLATS AND SURVEYS.



CODY M. MCCAMMON, P.L.S.

IDAHO NO. 11779

JOB NO. 20-078 SHEET 4 OF 5

GROUP, LLC SURVEY IDAHO

HAYSTACK SUBDIVISION NO. 1

APPROVAL OF ADA COUNTY HIGHWAY DISTRICT FORECONE ANT WAS AGACHED AND APPROVED BY THE BOARD OF ADA COUNTY HIGHWAY DISTRICT COMMISSIONERS ON THE THE DAY OF MAGAS.



CERTIFICATE OF COUNTY SURVEYOR

I, THE UNDERSIGNED, PROFESSIONAL LAND SURVEYOR, IN AND FOR ADA COUNTY, IDAHO, DO HERBEY CERTIFY THAT I HAVE CHECKED THIS PLAT AND THAT IT COMPLES WITH THE STATE OF IDAHO CODE RELATING TO PLATS AND SURVEYS.



APPROVAL OF CENTRAL DISTRICT HEALTH

SANTARY RESTRICTIONS AS REQUIRED BY IDAHO CODE, TITLE 50, CHAPTER 13 HAVE REEN SATISFED ACCORDING TO THE TETTER TO BE READ ON HELE WITH THE COLNITY RECORDER OR HIS AGENT LISTING THE CANDITIONS BY APPROVAL SANTARY RESTRICTIONS MAY BE RE-IMPOSED, IN ACCORDANCE WITH SECTION 50-1326, IDAHO CODE, BY ISSUANCE OF A CERTIFICATION OF DISAPPROVAL.



CONTRAL DISTRICT PERIS 1 27- 2021

I, THE UNDERSIONED, COUNTY TREASURER IN AND FOR THE COUNTY OF ADA, STATE OF IDAHO, PER THE REQUIREMENTS (LC. SO-1790 DO DEFERDY CREATY TAKES FOR THE PROPERTY NICLIDED IN THE PLAT HAVE BEEN PAID IN PLIL. THIS CREATERCATION IS VALID FOR THE NEXT THRETY (30) DAYS ONLY.

S - 13.2021

CERTIFICATE OF THE COUNTY TREASURER

APPROVAL OF CITY ENGINEER

I, THE UNDERSIGNED BOISE CITY ENGINEER, HEREBY STATE THAT THE RECOMMENDED CONDITIONS OF BOISE CITY HAVE BEEN SATISFIED FOR THIS PLAT.



COUNTY RECORDER'S CERTIFICATE

STATE OF IDAHO) S.S. COUNTY OF ADA)

APPROVAL OF CITY COUNCIL

I, THE UNDERSIGNED, OTTY CLERK IN AND FOR THE CITY OF BIDSE, ADA COUNTY, IDAMO, DO HEREBY CERTHY THAT AT A BEALCA MERTING OF THE CITY COUNCIL HELD ON THE 2.5° TOAY of ANALY APPROVED.



I FEREN CERTEY THAT THIS INSTRUMENT WAS FILED FOR RECORD AT THE REQUEST OF BARBER YMLEY DEVELOPMENT, INC.

**A. MINISTER PAST 2.

OF PLATS AT PARES \$155.0 - 1, 00, THS \$15.0 - 1, 00, T

INSTRUMENT NO. 2021-0710084

HONES

SURVEY GROUP, LLC

JOB NO. 20-078 SHEET 5 OF 5

9955 W. EMERALD ST. BONSE, IDAHO 83704 (208) 846-8570

(Instructions on next page)	No. <u>1 revised</u> .
PROJECT: Haystack Subdivision No. 1 CID Pro	ject
DATE OF RE-ISSUANCE – July 6, 2021	
OWNER: Barber Valley Development	
OWNER's Contract No.: 19045: CID Eligible Ite	ms
per Engineer's direction to Contractor.	e addition of traffic control along E. Haystack Streetent traffic control features at the intersection of E
Attachments: See attached Items and cost s	ummary
CHANGE IN CONTRACT PRICE	CHANGE IN CONTRACT TIMES
Original Contract Price \$2,069,994.29	Original Contract Times Substantial Completion: N/A Ready for final payment: days or dales
Net changes from previous Change Orders	Net changes from previous change Orders No to No.
\$00.00	N/A days
Contract Price prior to this Change Order \$	Contract Times prior to this Change Order Substantial Completion: Ready for final payment:
Net Increase (decrease) of the Change Order \$500.00	Net Increase (decrease) of the Change Order N/A days
Contract Price with all approved Change Orders \$2,070,494.29	Contract Times with all approved Change Orders Substantial Completion: N/A Ready for final payment: days or dates
APPROVED: By: Owner (A) Date:	ACCEPIED: By: 19-14- Contractor (Authorized Signature) Date: 9-23-2021





Phone (208) 884-8036 Fax (208) 898-9711 Idaho License # - RCE 50957 PWL # - 041315-A-4

Central Paving Dallas Harris Haystack Landscape & Irrigation

Project	Dagge	-4:
FIDIRE	DESCI	IDLIDIT:

Upgrade Irrigation control system from conventional wire per plans to 2 wire per

engineers direction

Cos	t Ri	roak	do	wn	

Material Credit Material Upcharge Labor Upcharge

(533.61)14,078.73

3- Rainbird ESP controllers

4,630.78

1- Rainbird ESP LXD and decoders, wire, etc

Total Project Cost

18,175.89

Terms:

I authorize Sunshine Landscape, Inc to perform the work in accordance with the prices, terms, and specs outlined above.

Client Signature

Date





(Instructions on next page)	No. <u>2</u> .
PROJECT: Haystack Subdivision No. 1 CID Project	
DATE OF ISSUANCE – June 23, 2021	
OWNER: Barber Valley Development	
OWNER's Contract No.: 19045: CID Eligible Items	
CONTRACTOR – Central Paving You are directed to make the following changes in the Contract Documents. Description: This Change Order is related to the pressure Irrigation system roadways. The change order centrally locates a single irrigation controller and for compatibility with the overall pressure irrigation system at Harris Ranch.	

Reason for Change Order: After discussion with irrigation maintenance team (Jack Davis and Servando), a larger controller and two wire system is being installed to provide a larger regional control of the Harris Ranch pressure irrigation system, which will provide for redundancy of operation, given the sensitive nature of the two-wire control system.

Attachments: See attached Items and cost summary

CHANGE IN CONTRACT PRICE	CHANGE IN CONTRACT TIMES
Original Contract Price	Original Contract Times Substantial Completion: N/A
\$ 2,069,994.29	Ready for final payment: days or dales
Net changes from previous Change Orders \$500.00	Net changes from previous change Orders No to No No N/A
	days
Contract Price prior to this Change Order	Contract Times prior to this Change Order
\$2,070,494.29	Substantial Completion: Ready for final payment:N/A
	days or dates
Net Increase (decrease) of the Change Order	Net Increase (decrease) of the Change Order
\$19,084.68	N/A doys
Contract Price with all approved Change Orders	Contract Times with all approved Change Orders
\$2.089,578.97	Substantial Completion: N/A Ready for final payment: days or dates

APPROVED:

Owner (Authorized Signature)

Date: 9-14-2021

Date:

EJCDC No. 1910-8-B (1990 Edition)

Prepared by the Engineers Joint Contract Documents Committee and endorsed by The Associated General Contractors of America





TERRY McENTEE, PRESIDENT PAT McENTEE, VICE PRESIDENT

P.O. BOX 15010 5319 SOUTH APPLE BOISE, ID 83715

PHONE (208) 338-0818

E-MAIL: INFO@CENTRALPAVING.COM WEBSITE: www.centralpaving.com

July 6th, 2021

RiveRidge Engineering Attn: Dave Powell P.E. 2447 S. Vista Ave Boise, ID 83705

Re:

Harris Ranch Haystack Change Order #2

Dave,

At the direction of the project owner and engineer, the sprinkler irrigation control wire was upgraded from the conventional wire shown in the plans to a two-wire system. The below costs were incurred in this requested change order.

Description	Qty	Unit	Unit Price	Total
Two Wire Irrigation Upgrade Central Paving Mark Up	1 1	LS LS	\$18,175.89 \$908.79	\$18,175.89 \$908.79
Total Cost of Change				\$19,084.68

Respectfully,

Kyle Terrell

Kyle Terrell Central Paving Co.





Phone (208) 884-8036 Fax (208) 898-9711 Idaho License # - RCE 50957 PWL # - 041315-A-4

Central Paving Dallas Harris Haystack Landscape & Irrigation

Project	Description:
----------------	--------------

Upgrade Irrigation control system from conventional wire per plans to 2 wire per

engineers direction

Cost	R	'ea	kd	οv	vn:
UUGL	-	G G	NY	v	

Material Credit Material Upcharge Labor Upcharge

(533.61)14,078.73

3- Rainbird ESP controllers

4,630.78

1- Rainbird ESP LXD and decoders, wire, etc

Total Project Cost

18,175.89

Terms:

I authorize Sunshine Landscape, Inc to perform the work in accordance with the prices, terms, and specs outlined above.

Client Signature

Date





(Instructions on next page)	No. 3 REVISED .
PROJECT: Haystack Subdivision No. 1 CID Pro	eject
DATE OF ISSUANCE – July 7, 2021	
OWNER: Barber Valley Development	
OWNER's Contract No.: 19045: CID Eligible Ite	ms
and sidewalks for the project. The contracto	he concrete construction of the new curb, gutter r was required to re-model the improvements to oncrete and these costs are related thereto. In
Timbers" project development, Pusher Construmatch the new access points of The Timber	anges to site access points due to changes to "The uction was required to remodel these accesses to rs. The wash out removal request is related to titles in the immediate area while Pusher was not ummary
CHANGE IN CONTRACT PRICE	CHANGE IN CONTRACT TIMES
Original Contract Price	Original Contract Times Substantial Completion: N/A
\$2.069.994.29	Ready for final payment: days or dates
Net changes from previous Change Orders \$19,584.68	Net changes from previous change Orders No to No to N/A
	days
Contract Price prior to this Change Order \$2,089,578.97	Contract Times prior to this Change Order Substantial Completion: Ready for final payment:
Al the Character State Character Contain	days or dates
Net Increase (decrease) of the Change Order	Net Increase (decrease) of the Change Order
\$ <u>2,440,00</u>	N/A days
Contract Price with all approved Change Orders	Contract Times with all approved Change Orders Substantial Completion: N/A
\$	Ready for final payment: days or dates
APPROVED:	





TERRY MCENTEE, PRESIDENT PAT MCENTEE, VICE PRESIDENT

P.O. BOX 15010 5319 SOUTH APPLE BOISE, ID 83715

PHONE (208) 338-0818

E-MAIL: INFO@CENTRALPAVING.COM WEBSITE: www.centralpaving.com

July 6th, 2021

RiveRidge Engineering Attn: Dave Powell P.E. 2447 S. Vista Ave Boise, ID 83705

Re:

Harris Ranch Haystack Change Order #3

Dave,

Due to the project design being changed two different times during construction, Pusher Concrete incurred expenses from having to pay for their GPS model to be redesigned two different times to match the changes. The first change was made to the concrete entrances and curb/gutter on Old Hickory. And the second change was made to the concrete entrances and curb/gutter on Haystack. Not only did they have to pay for the GPS model to be redesigned, they also had man-hours on site to load the GPS model onto the equipment and check the new model to make sure it was matching the new survey stakes. These expenses totaled \$1,000.

Additionally, Pusher incurred extra costs from the removal of a concrete washout located at the northeast corner of Old Hickory and Haystack. They are requesting compensation because over the course of the project, other builders/developers in the area had their concrete crews use Pusher's concrete washout without permission. Therefore when Pusher came back to the project to complete the second phase, they found this washout overflowing with concrete waist which it was only 20% full when they last used it. Therefore to haul off this massive concrete washout, Pusher had to bring in an excavator and it ended up being 3.5 dump truck loads of concrete removal. Attached is the cost summary from Pusher for these expenses incurred totaling \$1,440.

Description	Oty	Unit	Unit Price	Total	_
GPS Model Redesign Costs Concrete Washout Removal	1	LS LS	\$1,000 \$1,440	\$1,000 \$1,440	
Total Cost of Change				\$2,440	

Respectfully,

Kyle Terrell

Kyle Terrell Central Paving Co.



P O Box 140303 - Boise, ID 83714 PWL# 008813-AA-4

Phone: (208) 573-2207 RCE - 31124

Email: pcirandy@gmail.com Fed ID 27-3922107

OR # 200015 NV # 007701 Elko City # 7278

Change Order

	3		
PROJECT:	Harris Ranch Hatstack #1	Change Order #	2
		Date:	6/11/2021
TO:	Central Paving Co. Inc.	PCI Project No:	21-436
ATTN	Kyle	Contract Number:	
		Contract for:	\$ 338,121.10

THE CONTRACT IS CHANGED AS FOLLOWS:

ITEM#	Demo existing curb, gutter sidewalk and catch basin	QTY	Unit	Unit Price	COST
	Washout Removal				
	Transport	3	Hrs	\$ 125.00	\$ 375.00
	135 Excavator	4	Hrs	\$ 110.00	\$ 440.00
	Dump Truck	6	Hrs	\$ 85.00	\$ 510.00
	Dump Fees	1	LS	\$ 115.00	\$ 115.00
				TOTAL	\$ 1,440.00

The original contract sum	\$ 338,121.10
Net change by previously authorized change orders	\$ 2,840.00
The contract sum prior to this change order was	\$ 340,961.10
The contract sum will be increased by this change order in the amount of	\$ 1,440.00
The new contract sum including this change order will be	\$ 342,401.10
The contract time will be increased by	
The date of substantial completion as of this change order therefore is	

Accepted By:

ccepted By:					
	Pusher Construction, Inc.				
Contractor:	Randy Bernstrom President				
By: (Name of signer and title)	By: (name of signer and title)				
Signed: Date:	Signed: Date:				

(Instructions on next page)	No. <u>4 REVISED</u>			
PROJECT: Haystack Subdivision No. 1 CID Pro	oject			
DATE OF ISSUANCE – July 20, 2021				
OWNER: Barber Valley Development				
OWNER's Contract No.: 19045: CID Eligible Items				
CONTRACTOR – Central Paving You are directed to make the following char Description: See support letter from L2 Constru all pipe installation on the project.	nges in the Contract Documents. uction, subcontractor to Central Paving, in charge of			
This Change Order is related to installation of a series of issues in the process of installing the piping system for the development. In all cases, RiveRidge provided coordination and direction to L2 and Central Paving in order to secure a properly constructed project. All elements have been reviewed and RiveRidge is recommending approval of this Change Order No. 4 and the increased costs as listed.				
Attachments: See attached Items and cost s				
CHANGE IN CONTRACT PRICE	CHANGE IN CONTRACT TIMES			
Original Contract Price	Original Contract Times Substantial Completion:N/A			
\$2,069,994.29	Ready for final payment; days or dates			
Net changes from previous Change Orders	Net changes from previous change Orders No to			
\$22,024.68	No. N <u>/</u> A			
	days			
Contract Price prior to this Change Order	Contract Times prior to this Change Order			
\$2,092,018.97	Substantial Completion: Ready for final payment:			
	days or dates			
Net Increase (decrease) of the Change Order	Net Increase (decrease) of the Change Order			
\$72,764.35	N/A days			
Contract Price with all approved Change Orders	Contract Times with all approved Change Orders			
\$2,164,783.32	Substantial Completion: N/A			
	Ready for final payment: days or dates			
APPROVED: By: Owner (AL	ACCEPTED: By: Factor (Authorized Signature)			
Date:	Date: 9-14-2021			



To: Central Paving, Inc.

April 28, 2021

Subject: Harris Ranch - Haystack Sub No. 1

Re: RFC 01

Kyle – The following is a narrative document to support our RFC request.

Item 1 – Old Hickory Sewer – Remove & Replace Existing Storm Drain

The bid set of drawings indicates 6' of separation between the existing 18" SD and the new 8" Sewer. At Sta. 2+00 the existing SD line was within 3' of the new sewer main and continued to migrate further into the sewer alignment and was within 2' of the new sewer at Sta. 4+27 making the new sewer unconstructable as drawn. L2 had to remove the SD to install the new sewer.

Prior to re-installation of the afore mentioned SD, L2 requested survey for the previously installed SD line that was removed as part of the sewer installation. L2 began re-installing the pipe at the south end of the existing system (low point) with the survey provided and were unable to connect to the existing structure with the survey provided as the system was not installed per the plans or the survey when it was previously installed. L2 had to remove the entire system again and relay the SD at revised grades to make the system work.

We are requesting compensation for the L&E cost (1 DY) to remove and rebuild this system and the cost of the 160' of 18" Pipe we purchased to replace pipe that was damaged during the removal and replacement of this system.

Item 2 - Old Hickory Sewer - Remove & Replace Existing PIRR

The existing PIRR was removed and replaced to facilitate the shoring needed to safely install the 8" sewer.

We are requesting compensation for the L&E cost (0.50 DY) to remove and rebuild this system and the cost of the material we purchased to replace the crossing. The crossing had to be cut out and could not be removed without removing existing exterior site concrete surfaces which would have increased the cost of the work.

Item 3 - Imported Trench Backfill - Project Wide

Upon completing our installations on Old Hickory and during the transition phase to subgrade prep, the native material was deemed unstable due to it being oversaturated due to the unanticipated high groundwater conditions. Upon proceeding with excavations throughout the project, including but not limited to Old Hickory, organics and other deleterious materials were exposed during our excavations. The oversaturated native material also created issues at subgrade with "soft soils" that while they met the required densities would not support the roadways being built over the trenches. Imported Trench Backfill was supplied by CPI and placed by L2 as directed to mitigate the above issues. The breakdown of unit price for the material is as follows:

Pit Run Material - \$5.00 TN
Delivery - \$4.50 TN
Disposal of Displaced Material \$1.00 TN

Item 4 - Adjust Existing Manholes - Breakdown:

L&E - \$912.83 EA Material - LS - \$2,991.56

The existing manholes (3 EA Wise Way/1 EA Trailwood) all required transition sections due to the lip configuration. The existing manholes are the "old style" that is no longer built in this valley.

Item 5 - Water Additional Cost Due to Unforeseen/Unanticipated/Unknown Conditions - Excessive Depth

The existing water main had depths of 10' to 12' in 8 locations. Typical bury depth is 5'. Plans and specs did not indicate these conditions where we made connections for the following items:

Fire Service – 2 EA

2" Water Service – 2 EA

2" IRR Service – 1 EA – This service was 1 of 2 added IRR services which are part of this CO below.

1" Water Service – 1 EA

1" IRR Service – 2 EA

L&E - \$14,390.29 - Includes Additional Dewatering Cost Material - LS - \$2,716.59

Item 6 – Additional PIRR Components – 4" Main/8" Sleeves/2" Sleeves – LS – Per plan modifications.

L&E - 1 DY Material – LS – 3,817.40

NOTE – All 6" Sleeves as called out on the plans were upsized by L2 to 8" Sleeves, 4" PIRR Main will not fit inside a 6" Sleeve. L2 pulled this material from their stock and installed it onsite at no additional cost to the project

Item 7 - Additional 2" PIRR Services

Item 8 - Removal & Relocation of Previously Installed Facilities

6" Fire Service – 1 EA 2" Water Service – 2 EA

Item 9 – Credit to RFC from Contract Items:

2 EA - Fire Hydrant Assemblies at CUP \$6,670.00 EA = (\$13,340.00)

We have provided all pipe material invoices for backup, L2 is not charging/requesting any additional cost/compensation for the pipe material other than the invoice amount.

AG NOW

Do not hesitate to contact us should you have any questions.

Sincerely,

Eric Bird
Vice President
Eric@l2excavation.com

Cell: 208-957-3706 Office: 208-800-0030 2817 Brandt Ave. Nampa, ID. 83686



2817 Brandt Ave Nampa, ID 83687

Idaho State Contractor's License #RCE-36764 Idaho Public Works License #020467 - A - 4

Owner:

Project Name: Haystack 1

Address:

Submitted to: Kyle Terrell - CPI

City,State,Zip:

DEC 04

Heading	Item #	Line Item	Qty	UOM		Unit Price	 Total
Remove & Replace Existing 18" SD Pipe	(1)		1	DY	@	\$ 4,918.38	\$ 4,918.38
Remove & Replace Existing 6" PIRR Crossing	(2)		1	EA	@	\$ 2,397.72	\$ 2,397.72
Imported Trench Backfill	(3)		3247	TN	@	\$ 11.03	\$ 35,818.49
Adjustment of Existing Manhole - Additional Stacking	(4)		4	EA	@	\$ 1,660.72	\$ 6,642,88
Water Main Excessive Depth	(5)		8	EA	@	\$ 2,138.36	\$ 17,106.88
Additional PIRR - 4" Main/8" Sleeves/2" Sleeves - Per Plan Mods	(6)		1	LS	@	\$ 7,510.00	\$ 7,510.00
Added 2" PIRR Service	(7)		2	EA	@	\$ 3,230.00	\$ 6,460.00
Relocate Previously Installed 2" Water Service - 2 EA & 6" Fire Service - 1 EA	(8)		3	EA	@	\$ 1,750.00	\$ 5,250.00
Credit to RFC for Contract Items	(9)		1	LS	@	\$ (13,340.00)	\$ (13,340.00

L* Excavation LLC Authorized Signature		7/9/2021
Manusia o Grana	Eric Bird	Date
	Vice President	
Acceptance of Proposal - The above prices, specifications and conditions are satisfactory and a made as outlined above.	are hereby coepted. 12 Excavally 1110 is authorize	d to do lhe work as specified. Payment will be
Authorized Signature	(Sweet) USWU	L 1. W·Z

Total

\$ 72,764.35

CHANGE ORDER

(Instructions on next page)	No5
PROJECT: Haystack Subdivision No. 1 CID Pro	pject
DATE OF ISSUANCE – September 10, 2021	
OWNER: Barber Valley Development	
OWNER's Contract No.: 19045: CID Eligible Ite	ems
restripe bike lane along E. Warm Springs Ave	Central Paving that Itemizes costs to obliterate and
and gutter to the existing roadway. One half added to the blke lane to allow for 5' width w	i foot was taken from the vehicle travel lane and rithin the limits of asphalt.
Attachments: See attached Items and cost s	
CHANGE IN CONTRACT PRICE	CHANGE IN CONTRACT TIMES
Original Contract Price	Original Contract Times Substantial Completion: N/A
\$2,069,994.29	Ready for final payment; days or dales
Net changes from previous Change Orders	Net changes from previous change Orders No to
\$ <u>94,789.03</u>	No. N/A
	days
Contract Price prior to this Change Order	Contract Times prior to this Change Order Substantial Completion:
\$2,164,783.32	Ready for final payment: N/A
	days or dates
Net Increase (decrease) of the Change Order	Net Increase (decrease) of the Change Order
\$2012.49	N/A days
Contract Price with all approved Change Orders	Contract Times with all approved Change Orders Substantial Completion: N/A
\$2,166,795.81	Ready for final payment: days or dates
APPROVED: By:	ACCEPTED: By: Contractor (Authorized Signature)
Date	Date: 9-14-2021





TERRY McENTEE, PRESIDENT PAT McENTEE, VICE PRESIDENT

P.O. BOX 15010 5319 SOUTH APPLE BOISE, ID 83715

PHONE (208) 338-0818

E-MAIL: INFO@CENTRALPAVING.COM WEBSITE: www.centralpaving.com

August 30th, 2021

RiveRidge Engineering Attn: Dave Powell P.E. 2447 S. Vista Ave Boise, ID 83705

Re:

Harris Ranch Haystack Change Order #5

Dave,

ACHD requested that the bike lane on Warm Springs be obliterated and restriped since the width was not the full 5 feet that their specification requires. This change order is for the cost of Curtis Clean Sweep to do this work.

Description	Qty	Unit	Unit Price	Total
Warm Springs Obliteration and Restriping Contractor Administrative Expenses	1 1	LS LS	\$1,916.66 \$95.83	\$1,916.66 \$95.83
Total Cost of Change				\$2,012.49

Respectfully,

Kyle Terrell

Kylc Terrell Central Paving Co.

4

0.00

\$1,266.66

Tax:

Invoice Total:

Curtis Clean Sweep, Inc.

PO BOX 44112 Boise, ID 83711 (208) 343-7600

CENTRAL PAVING PO BOX 15010 BOISE, ID 83715

Services Rendered At:CENTRAL PAVING PO BOX 15010 BOISE ID 83715

INVOICE

INVOICE #	ACCOL	JNT NO.
164481	3	165
DATE	DUE	DATE
07/30/21	08.	/29/21
Invoice Total:	Paid Amt	0.00
\$1,266.66	Total Due:	1266.66

REMIT TO: CURTIS CLEAN SWEEP, INC.

DATE	DESCRIPTION	AM	OUNT
07/21/21	HAYSTACK SUB NO 1 - OBLITERATION	1	,266.66
	REMOVE BIKE LANE AS NEEDED		
	1 LS @ \$1266.66		
	B		
		Sub Total:	1,266.6

Message:

OUR TERMS ARE NET 30 DAYS
PAST DUE BALANCES WILL BE SUBJECT TO A FINANCE
CHARGE OF 1.5% PER MONTH ON ANY AMOUNT PAST DUE.

PLEASE INCLUDE INVOICE NUMBER 164481 WITH YOUR PAYMENT TO ENSURE IT GETS APPLIED CORRECTLY.

Curtis Clean Sweep, Inc.

PO BOX 44112 Boise, ID 83711 (208) 343-7600

CENTRAL PAVING PO BOX 15010 BOISE, ID 83715

>

Services Rendered At:CENTRAL PAVING PO BOX 15010 BOISE ID 83715

INVOICE

INVOICE #	ACCOL	JNT NO.
164482	3-	165
DATE	DUE	DATE
07/30/21	08/	29/21
Invoice Total:	Paid Amt	0.00
\$650.00	Total Due:	650.00

REMIT TO: CURTIS CLEAN SWEEP, INC.

Tax:

Invoice Total:

0.00

\$650.00

DATE	DESCRIPTION	ΔМ	OUNT
07/21/21	HAYSTACK SUB NO 1 - PAV MARKINGS		650.00
	CO - REPLACE BIKE LANE AS NEEDED		000.00
	1 Ls @ \$650.00		
1			
		Sub Total:	650.00

Message:

OUR TERMS ARE NET 30 DAYS
PAST DUE BALANCES WILL BE SUBJECT TO A FINANCE
CHARGE OF 1.5% PER MONTH ON ANY AMOUNT PAST DUE.

PLEASE INCLUDE INVOICE NUMBER 164482
WITH YOUR PAYMENT TO ENSURE IT GETS APPLIED CORRECTLY.

HAYSTACK SUBDIVISION NO. 1 - SW12 AND SW13 CONTRACTOR PAYMENT REQUEST EVALUATION AND EXPLANATION OF ITEMS

September 10, 2021



ITEM	ITEM EXPANATION		
1 - 4 5	Mobilization, Demobilization, Bonds and Insurance considered eligible for reimbursement Since all clearing and grubbing was related to overlot areas, this item is not eligible	\$	74,401.00
	for reimbursement		
6 - 23	All items are related to the construction of roadways and are considered CID Eligible for reimbursement	\$	990,412.50
24 - 36	All items are related to the installation of the Suez Water distribution system, which have been denied for reimbursement by City of Boise.		
37 - 38, 41 & 44	Items related to the installation of the Boise City Sanitary Sewer collection system and are considered to be eligible for reimbursement	\$	37,544.00
39 - 40	Items related to the extension of sanitary sewer services to individual homes, which are not eligible for reimbursement		
42 - 43	Items related to the extension of domestic water services to individual homes, which are not eligible for reimbursement		
45 - 52	All items are related to the installation of the roadway storm water collection system and are considered eligible for reimbursement.	\$	149,462.80
53 - 56	All items related to the project SWPPP and continuous management are considered to be eligible for reimbursement	\$	14,226.00
57 - 62	All items are related to the installation of the private pressure irrigation system and are not eligible for reimbursement		
63 - 70	All items are related to project landscaping and street amenities and have been denied for reimbursement by City of Boise.		
71 - 78	All items are related to the installation of roadway traffic control and street lighting and are all considered eligible for reimbursement.	\$	102,760.00
Change Order No. 1	-	\$	500.00
Change Order No. 2	Change Order 2 is related to the private irrigation system and is not eligible for reimbursement		
Change Order No. 3	Change Order 3 are miscelaneous items considered not to be eligible for reimbursement		
Change Order No. 4	Change Order 4 is related to unforeseen conctruction elements related to the installation of the sanitary sewer and domestic water systems and impacts to existing storm drainage system. All items related to the domestic water installation are considered to not be eligible for reimbursement. All elements related to the installation of the sanitary sewer and replacement of the storm drain		
Chango Ordor No. E	system are considered to be eligible for reimbursement. See attached Change Order for my mark-up.	\$	29,470.50
Change Order No. 5	Change Order 5 is related to pavement marking for the E. Warm Springs Bike Lane that was deemed by ACHD to too narrow and is considered to be eleigible for reimbursement	\$	2,012.49
	TOTAL AMOUNT RECOMMENDED FOR CID REIMBURSEMENT	\$ 1	I,400,789.29
			•

AIA Document G732 2 09

Application and Certification for Payment, Construction Manager as Adviser Edition

DISTRIBUTION TO: OWNER CONSTRUCTION MANAGER	ARCHITECT	CONTRACTOR		ctor's knowledge, information and belief the d in accordance with the Contract Work for which previous Certificates of that current payment shown herein is now		10-20	ATE OF THE OF TH	1000 See 100	OAN ACTOR OF THE PROPERTY OF T	ON ARY O	On the data Onbreshig this Cheir Armyledes. e Work IS in accordance with	t of the AMOUNT CERTIFIED. VELOCIES (1955)	110,564.17	_	Date: 11/9/21
APPLICATION NO: 10 000 APPLICATION DATE:	PERIOD TO: 10-31-2021	CONTRACT DATE:	COMMITMENT NO:	The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates of Payment were issued and payments received from the Owner, and that current payment shown herein is now	due. CONTRACTOR: Central Paving Co., Inc.	0 1713.702	By: Cantal of ToAHO	on to	My Commission (Aprice: 5/06/06/06)	CERTIFICATE FOR PAYMENT	In accordance with the Contract Documents, based on evaluations of the Work of the desired and application, the Construction Manager(s) certify to the Owner that to the best of their while the construction will be progressed as indicated, the quality of the Work is in accordance with	the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.	AMOUNT CERTIFIED	(Attach explanation if amount certified differs from the amount applied Initial all figures, on this Application and on the Continuation Sheet that are changed to conform with the amount certified	CONSTRUCTION MANAGER By: Multiple Months By:
		VIA CONSTRUCTION MANAGER(S):		ENT ction with the Contract AIA Document G703,	2,069,994-29	2,166,741,81	2.166.741.81 (= 108.337.09		106,331 Just 2,166,741.81	2,160,567.81	5,865.30	0.00			1156
BARBER VALLEY DEVELOPMENT		FROM CONTRACTOR: CENTRAL PAVING CO., INC MANAGER(S):	Contact: Terry McEntee CONTRACT FOR: Harris Ranch - Haystack -19045	CONTRACTOR'S APPLICATION FOR PAYMENT Application is made for payment, as shown below, in connection with the Contract Continuation Sheet Equivalent, is attached	1 ORIGINAL CONTRACT SUM	3 CONTRACT SUM TO DATE (Line 1 +- 2)	d Work	b 5% % of Stored Material (Column H on G703	Total Retainage (Lines 5a + 5b, or Total in Column L on G703) 6. TOTAL EARNED LESS RETAINAGE	(Lines 4 minus Line 2 lotal) 7. LESS PREVIOUS CERTIFICATES FOR PAYMENT	(Line 6 from prior Certificate) 8 CURRENT PAYMENT DUE	(Line 3 minus Line 6) 10 BALANCE TO FINISH, EXCLUDING RETAINAGE		X Check here for request to release retainage.	*Change order 4 for \$72,76425 was paid in fill no returtion was withheld Retention is based on \$2,093,97156

By:
This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance, payment and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.

CONSTRUCTION MANAGER

DEDUCTIONS

ADDITIONS

TOTAL

NET CHANGES IN THE WORK

Total changes approved in previous mouths by Owner
Total approved this month including Construction Change
Directives

SUMMARY OF CHANGES IN THE WORK

Harris Ranch Haystack

Date 11/8/2021

Pay Estimate No.

Pay Estimate #10

Contractor - Central Paving

3,790,50 2,074.80 w/Retention Current 2.184.00 3,990,00 Current Payments 52,000 00 **\$** 4,900 00 **\$** 17,500 00 **\$** 33,250.00 \$ 8,732.50 \$ 142,380.00 \$ 13,956.80 \$ 5.100.00 S 105,933.80 36,000 00\ 18,800 00 12,765.00 213,141,60 5,400.00 98,324.70 81,571.00 3.500 00 38,711,40 500.00 100.00 106,476.80 90,000,00 2,193.75 .656.00 20,055.00 47,300 00 Previous 8,902,00 696,00 286,00 1.00 1 00 1.00 5,55 2,127 00 5,493.00 3.00 11,00 12,687 00 1 00 1.00 280.00 105 00 11.00 17,339,00 4,064,00 00 008,1 ,755,00 00'268'1 3,442,00 00.1 5.00 4,00 640.00 3.00 Total Current 52.00 30.00 00 0 2,127 00 17,339,00 00.969 250.00 3.00 640.00 1 00 3.00 11.00 11.00 5 00 4 00 12,687.00 00 00 4,064 00 1,800,00 8,902.00 286.00 1,755.00 5,493.00 1,897,00 3,390,00 05.00 Previous 12.765.00 213,141.60 19,766 40 1.00 38,711.40 2,193,75 22,656.00 20,055.00 52,000.00 7,500.00 3,500.00 5,400 00 1,000.00 90,000,06 5,100.00 4,900,00 4,400 00 21,673.75 106,476 80 105,933.80 81,571.00 98,324,70 142,380,00 33,250,00 1,500 00 1.00 47,300.00 36,000,00 18,800,00 5 100 00 Total Unit Price 52000 00 5400.00 3700.00 4300.00 2300,00 1700,00 4900.00 1700,00 7200,00 000'0001 4700.00 3500,00 43.00 133.00 191 00 1500,00 16.80 26,20 50.00 11.90 28 40 48 80 17.90 42,00 35.40 49.90 1.00 1.00 Units AC CY AC CY LS SY 2 2 2 LS CS SY SY EA LF EA EA LS Ľ EA SY H SY SΥ 上 λ Quantity 17339 5.55 2127 4064 8902 1755 5493 1897 3390 250 175 1800 696 286 640 05 Standard 6" Vertical Curb and Gutter and Base Course 5" Asphalt Concrete (Two Lift Placement per ACHD) " Minus Uncrushed Aggregate Subbase (Imported) " Fire hydradt Assembly
Lower 6"Main Below Existing Non-Potable Main Harris Ranch Haystack nstall new 1" water service and metof setting Road & Sidewalk Subgrade Compact & Prep 15' Wide Concrete Sidewalk and Base Course 3/4" Minus Crushed Aggregate Base Coarse Wide Concrete Sidewalk and Base Course General Site Work Description 2" Water Service with 1- 2 Inch Setting Fire Service With Valve & Blowoff Concrete Pedestrian Ramps " PVC Water Main Saw Cut Existing Asphalt 'ype "P" Asphalt Repair Construction Surveying 2-1/2" Asphalt Concrete Excavation to Subgrade "Irrigation Service " PVC Water Main 3/4" Water Service oncrete Entrances Project Dewatering Site Structural Fill Traffic Control Demobilization Clear & Grub Tackifier Client Bid# 임 11 24 25 26 27 27 28 28 29 30 31 31 32 33 œ

& WISS MAP K おからなり NA INTERSECTION CON CREEKS (1) ADDED

				1 7/1/1/1/1		2 200 100		200		-		
35	Hot Tap Connection to Existing 16" DI Main	12	EA	1900 00	S S S	22 800 00	12.00	12.00	22 800 00		12	9 6
36	Adjust Existing Water Valve to sinished grade	-	LS	1300 00		1 300 00	1 00	00 -	30000	\$ 00		9 64
	Sewer									+		0.00
37	Connect to New 8" Main to Existing Sewer Manhole	-	EA	7000 00	S	7,000.00	1.00	1 00	\$ 7.000.00	+	64	69
38	8" SDR35, PVC Sewer Main	327	LF	72.00	S	23,544,00	327.00	327 00	CI	1 00 \$		S
39	4" SDR35, PVC Sewer Seprice	102	LF	74.10	69	7,558.20	102.00	102.00	1		15	65
40	6" SDR35, PVC Sewer Service	515	LF	78.10	S	40,221.50	515 00	515 00			ï	65
41	48" Standard Sanitary Sewer Manhole	_	EA	3800,00	69	3,800.00	1 00	1.00	\$ 3,800,00	\$ 000		8
42	Connect New Service to Exist. Main (Insert-a-Tee Connection)	7	EA	1400.00	69	00,008,6	7.00	7.00				64
43	Connect New Service to Exist. Main (Cut Exist. Main & Install Tee)	3	EA	3100.00	69	9.30000	3.00	3.00		-	15	
44	Adjust Sewer Manhole to Grade	_	LS	3200,00	64)	3,200,00	1 00	100	\$ 3,200.00	\$ 000		
	Storm Drain									_		A 57 544
45	12" PVC C-900 Storm Drain Pipe	825	LF	48.40		39,930,00	825.00	825.00	\$ 39,930.00	-	ī	S
46	18" PVC C-900 Storm Drain Pipe	512	LF	69.40		35,532.80	512.00	512 00		2.80 \$		69
47	Connect to Existing 18" C-900 Storm Drain Pipe	2	EA	1300.00	64	2.600.00	2.00	2 00	\$ 2,600.00	-		8
48	Type I Catch Basin	19	EA	1300 00		24,700.00	00 61	19 00	\$ 24,700.00	-	r	S
49	48" Standard Storm Drain Manhole	Ú	EA	3300.00	€>	16,500 00	5.00	2.00	\$ 16,500,00	-	5	S
20	Wise Way Dual Pipe Storm Drain Manhole	2	EA	7400 00	69	14,800.00	2 00	2 00	\$ 14,800.00	⊢	£	ss.
51	Core Drill & Connect New Pipe to Existing Manhole/Inlet	7	EA	1800 00	89	12,600 00	2 00	7.00	\$ 12,600.00	-	æ	S
52	Adjust Storm Drain Manhole to Grade	-	LS	2800.00	\$	2,800.00	1 00	00 1	\$ 2,800,00	-	ij	\$
	SWPPP											174 H1 9
53	Prepare and File SWPPP, ENOI, ACHD ESC Plan	-	LS	1 800 00	8	1,800.00	1 00	1 00	S 1,800 00	_		ss.
54	Install all BMPs Prior to Construction	_	LS	00 0066	\$	00'006'6	1.00	1 00	00.006,6 \$	\$ 000	1	S
55	Continuously Inspect and Maintain BMP's	-	LS	1 700 00	89	1,700 00	1 00	1.00	\$ 1,700.00	-	ji,	69
56	Final Site Inspection and File ENOT	_	LS	826.00	8	826.00	1)	24	€9	59	125	55
	Irrigation											1 14,226
57	4" Irrigation Main & Fittings	35	LF	43.60	8	1,526 00	35.00	35.00	\$ 1,526.00	\$ 00.8	ķ	S
58	4" Gate Valve	7	EA	736.00	\$	N472/00	2.00	2.00	\$ 1,472.00	-	(1)	8
59	Connect to Existing System		LS	639.00	69	00 659	1.00	1.00	\$ 639	\$ 00 659		89
09	Main Line Drain		EA	1100.00		1,100,00	1.00	1.00	\$ 1,100,00	-	ê	69
61	Complete Fine Irrigation Designand Installation	-	LS	50700.00	\$	80.700.80	1,00	1 00	\$ 50,700.00	\$ 000		€9
62	Irrigation Sleeving/	-	LS	6400.00	\$	6,400 00≥	1.00	1.00	\$ 6,400.00	\$ 00.0	27	69
	Landscaping											000
63	Amended Lopson	1130	CY	27.50		31,075 00	1,130.00	1,130.00	\$ 31,075.00	\$ 00		5
49	Lawn	33179	SF	0.51	S	18,921 39	33,179 00	33,179,00	\$ 16,921.29	29 \$	Ŷ	S
65	Trees	98	EA	743.00	8	63,898/00	86.00	86.00	\$ 63,898.00	\$ 00.8	9	6/3
99	Flowering plants in Planter Rots	-	I'S	7100 00	64	7,100,00	1.00	1 00	\$ 7,100.00	\vdash		64
29	Trash Receptical	11	EA	1900 00	59	20,000,00	11 00	11 00	\$ 20,900.00	+	T	69
89	Benches	11	EA	3300.00	\$	36,300,00	11.00	11.00	\$ 36,300.00	\$ 000	(6	69
69	Planter Pots	22	EA	2100.00	\$	46,200,00	22.00	22.00	\$ 46,200.00	\vdash	9)	5
70	Tree Grates	22	EA	5100,00	<u>,</u> \$	112,200 00	22,00	22.00	\$ 112,200.00	-		8
	Street Signs and Lighting											0.00
71	Street Signs		LS	10400 00	\$	10,400.00	1.00	1.00 \$	\$ 10,400,00	\$ 00	į	6/9

7/	Removal of Existing Type II & III Barricades		2	1600 00	00,009,1	000	0		00	\$ 1,600.00	0	ï	.! S
73	Street Lights - 25 ft Pole with Class A Fixture	2	EA	5700,00	\$ 11,400.00	000 2 00	0		2.00	\$ 11,400.00	0 8	- K	S
74	Street Lights - 30 ft Pole with Class B Fixture	5	EA	7000 00	\$ 35,000,00	000 2 000	0		5.00	\$ 35,000 00	S	54	S
75	Street Light Electrical Conduit & Wire	-	LS	36000,00	\$ 36,000,00	00 1 00 0	0		1 00	\$ 36,000.00	\$ 0	7	5
92	Powder Coat Street Signs & Poles	-	LS	2800 00	\$ 2,800.00	000 1 00	0		1.00	\$ 2,800 00	\$ 0	14	\$
77	Pavement Stiping and Symbols	_	LS	4700 00	\$ 4,700,00	000 1 00	0		1.00	\$ 4,700,00	\$ 0	ï	8
78	Obliterate Existing Pavement Stripe	400	LF	2,15	860	860 00 400 00	0	40	400.00	\$ 860 00	\$ 0	ű	\$1.2018
	Change Order #1				S	3			3	1	59		59
79	Install Additional Stop Bars	-	rs	\$ 500.00	\$ 500	200.00	0		1.00	\$ 500.00	\$3	lik.	\$ 10 S
	Change Order #2												
80	Two Wire Up-Grade, Landscape Sprinklers	-	ST	\$ 18,175.89	\$ 18,175.89	00 1 00 1	0		1.00	\$ 18,175.89	8	Ŷ.	\$ 00.00
81	Contractor Markup	-	S	\$ 908.79	806 \$	908.79 1.00	0		1.00	8 908.79	\$ 6	10	69
	Change Order #3												
82	Concrete Washout Removal	_	rs	\$ 1,440.00	\$ 1,440.00	0.00	0		1.00 \$	5 1,440.00	S 0	ě	8
83	GPS Model Modifications Do to Design Changes	-	rs	\$ 1,000.00	\$ 1,000.00	0001	0		1.00	\$ 1,000 00	\$ 0		\$ 6.00
	Change Order #4												
84	Pipe Modifications and Additional Work	-	ST	\$ 72,764.35	\$ 72,76435	1.00	0		1.00	5 72,764,35	5 8	100	\$78.470.40
	Change Order #5												
85	Warm Springs Bike Lane Obliteration and Restriping	1	LS.	\$ 1,916.66	\$ 1,916.66	00 1 99	0		1.00 \$	9991611 9	\$ 9	ï	59
98	Contractor Markup	-	rs	\$ 95.83	\$ 95	95 83 1 00	0		1.00	\$ 95,83	3	020	\$ 2012.4
					8	20			50	Τ.	64		69
										Previous	Payme	Payment This	Payment This
					Total Contract	act				Payment	Est	Est (w/o	Estimate (w/
										(no retention)		Retention)	Retention)
					\$ 2 166 795 81	81			A	9 7 160 567 91	6	6 174 00	002203

TOTAL CIT BEIMBURGEMENT = # 1,400,729.29

CHANGE ORDER

(Instructions on next page)	No. 4 REVISED
PROJECT: Haystack Subdivision No. 1 CID Pr	oject
DATE OF ISSUANCE – July 20, 2021	
OWNER: Barber Valley Development	
OWNER's Contract No.: 19045: CID Eligible Ite	ems
CONTRACTOR – Central Paving You are directed to make the following char Description: See support letter from L2 Construall pipe installation on the project.	nges in the Contract Documents. uction, subcontractor to Central Paving, in charge o
piping system for the development. In all cast to L2 and Central Paving in order to secure a	of a series of issues in the process of installing the es, RiveRidge provided coordination and direction properly constructed project. All elements have ding approval of this Change Order No. 4 and the
Attachments: See attached Items and cost s	summary
CHANGE IN CONTRACT PRICE	CHANGE IN CONTRACT TIMES
Original Contract Price	Original Contract Times Substantial Completion:N/A
\$2,069,994.29	Ready for final payment: days or dates
Net changes from previous Change Orders \$22,024.68	Net changes from previous change Orders No to No N/A
8	days
Contract Price prior to this Change Order \$2,092,018.97	Contract Times prior to this Change Order Substantial Completion: Ready for final payment:
	days or dates
Net Increase (decrease) of the Change Order	Net Increase (decrease) of the Change Order
\$72,764.35	N/A days
Contract Price with all approved Change Orders \$2,164,783.32	Contract Times with all approved Change Orders Substantial Completion: N/A Ready for final payment: days or dates
APPROVED:	ACCEPTED:
By: Owner (Au	By: Contractor (Authorized Signature)

Date:

Date:



To: Central Paving, Inc.

April 28, 2021

Subject: Harris Ranch - Haystack Sub No. 1

Re: RFC 01

Kyle – The following is a narrative document to support our RFC request.

Item 1 – Old Hickory Sewer – Remove & Replace Existing Storm Drain

The bid set of drawings indicates 6' of separation between the existing 18" SD and the new 8" Sewer. At Sta. 2+00 the existing SD line was within 3' of the new sewer main and continued to migrate further into the sewer alignment and was within 2' of the new sewer at Sta. 4+27 making the new sewer unconstructable as drawn. L2 had to remove the SD to install the new sewer.

Prior to re-installation of the afore mentioned SD, L2 requested survey for the previously installed SD line that was removed as part of the sewer installation. L2 began re-installing the pipe at the south end of the existing system (low point) with the survey provided and were unable to connect to the existing structure with the survey provided as the system was not installed per the plans or the survey when it was previously installed. L2 had to remove the entire system again and relay the SD at revised grades to make the system work.

We are requesting compensation for the L&E cost (1 DY) to remove and rebuild this system and the cost of the 160' of 18" Pipe we purchased to replace pipe that was damaged during the removal and replacement of this system.

Item 2 – Old Hickory Sewer – Remove & Replace Existing PIRR

The existing PIRR was removed and replaced to facilitate the shoring needed to safely install the 8" sewer.

We are requesting compensation for the L&E cost (0.50 DY) to remove and rebuild this system and the cost of the material we purchased to replace the crossing. The crossing had to be cut out and could not be removed without removing existing exterior site concrete surfaces which would have increased the cost of the work.

Item 3 - Imported Trench Backfill - Project Wide

Upon completing our installations on Old Hickory and during the transition phase to subgrade prep, the native material was deemed unstable due to it being oversaturated due to the unanticipated high groundwater conditions. Upon proceeding with excavations throughout the project, including but not limited to Old Hickory, organics and other deleterious materials were exposed during our excavations. The oversaturated native material also created issues at subgrade with "soft soils" that while they met the required densities would not support the roadways being built over the trenches. Imported Trench Backfill was supplied by CPI and placed by L2 as directed to mitigate the above issues. The breakdown of unit price for the material is as follows:

Pit Run Material - \$5.00 TN
Delivery - \$4.50 TN
Disposal of Displaced Material \$1.00 TN

Item 4 – Adjust Existing Manholes – Breakdown:

L&E - \$912.83 EA Material - LS - \$2,991.56

The existing manholes (3 EA Wise Way/1 EA Trailwood) all required transition sections due to the lip configuration. The existing manholes are the "old style" that is no longer built in this valley.

Item 5 – Water Additional Cost Due to Unforeseen/Unanticipated/Unknown Conditions – Excessive Depth

The existing water main had depths of 10' to 12' in 8 locations. Typical bury depth is 5'. Plans and specs did not indicate these conditions where we made connections for the following items:

Fire Service – 2 EA

2" Water Service – 2 EA

2" IRR Service – 1 EA – This service was 1 of 2 added IRR services which are part of this CO below.

1" Water Service – 1 EA

1" IRR Service – 2 EA

L&E - \$14,390.29 - Includes Additional Dewatering Cost Material - LS - \$2,716.59

Item 6 - Additional PIRR Components - 4" Main/8" Sleeves/2" Sleeves - LS - Per plan modifications.

L&E - 1 DY Material – LS – 3,817.40

NOTE – All 6" Sleeves as called out on the plans were upsized by L2 to 8" Sleeves, 4" PIRR Main will not fit inside a 6" Sleeve. L2 pulled this material from their stock and installed it onsite at no additional cost to the project

Item 7 - Additional 2" PIRR Services

Item 8 - Removal & Relocation of Previously Installed Facilities

6" Fire Service – 1 EA 2" Water Service – 2 EA

Item 9 - Credit to RFC from Contract Items:

2 EA – Fire Hydrant Assemblies at CUP \$6,670.00 EA = (\$13,340.00)

We have provided all pipe material invoices for backup, L2 is not charging/requesting any additional cost/compensation for the pipe material other than the invoice amount.

AGO N

Do not hesitate to contact us should you have any questions.

Sincerely,

Eric Bird
Vice President
Eric@l2excavation.com

Cell: 208-957-3706 Office: 208-800-0030 2817 Brandt Ave. Nampa, ID. 83686



2817 Brandt Ave Nampa, ID 83687

Idaho State Contractor's License #RCE-38764 Idaho Public Works License #020467 - A - 4

Owner:

Project Name: Haystack 1

Address:

Submitted to: Kyle Terrell - CPI

City,State,Zip:

RFC 01

Heading	Item #	Line Item	Qty	UOM		Unit Price	Total
Remove & Replace Existing 18" SD Pipe	(1)		1	DY	@	\$ 4,918.38	\$ 4,918.38
Remove & Replace Existing 6" PIRR Crossing	(2)		1	EA	@	\$ 2,397.72	\$ 2,397,72
Imported Trench Backfill \$550 ME 50% SEWEL	(3)		3247	TN	@	\$ 11.03	\$ 35,818.49
Adjustment of Existing Manhole - Additional Stacking	(4)		4	EA	@	\$ 1,660.72	\$ 6,642.88
Water Main Excessive Depth	(5)		8	EA	@	\$ 2,138.36	\$ 17,106.88
Additional PIRR - 4" Main/8" Sleeves/2" Sleeves - Per Plan Mods	(6)		1	LS	@	\$ 7,510.00	\$ 7,510.00
Added 2" PIRR Service	(7)		2	EA	@	\$ 3,230.00	\$ 6,460.00
Relocate Previously Installed 2" Water Service - 2 EA & 6" Fire Service - 1 EA	(8)		3	EA	@	\$ 1,750.00	\$ 5,250.00
Credit to RFC for Contract Items	(9)		1	LS	@	\$ (13,340.00	\$ (13,340.00)

Total

7/9/2021

L² Excavation LLC

Authorized Signature

Eric Bird

Date

thorized to do the work as specified. Payment will be

Acceptance of Proposal - The above prices, specifications and conditions are salisfactory and are he made as outlined above.

Authorized Signature

Central Paving Haystack Subdivision No. 1 (SW 12 & 13)

Inovice Date	Application No.	Δ	mount Billed	Check Number	Date Paid	1	Amount Paid
12/25/2020	1	\$	155,676.50	6327	12/28/2020	\$	155,676.50
1/31/2021	2	\$	323,818.64	6342	2/11/2021	\$	323,818.64
2/25/2021	3	\$	271,425.90	6316	4/12/2021	\$	271,425.90
3/31/2021	4	\$	456,187.29	6333	5/12/2021	\$	456,187.29
4/30/2021	5	\$	239,487.40	6386	6/8/2021	\$	239,487.40
5/27/2021	6	\$	211,026.02	6422	7/13/2021	\$	211,026.02
7/20/2021	CO 4	\$	72,764.35	6424	7/21/2021	\$	72,764.35
6/30/2021	7	\$	216,136.40	6450	8/17/2021	\$	216,136.40
7/31/2021	8	\$	27,592.45	6463	9/8/2021	\$	27,592.45
8/31/2021	9	\$	82,062.69	7005	10/13/2021	\$	82,062.69
10/31/2021	10	\$	110,564.17	8056	12/13/2021	\$	110,564.17
·		\$	2,166,741.81			\$	2,166,741.81
Adjustments:*		\$	765,952.52			\$	765,952.52
Total:		\$	1,400,789.29			\$	1,400,789.29

^{*}See 6E for details

AIA Document G732 2 09

Subscribed and sworn to before me this by August and the Contract Documents, and the Contract Documents, and the Contract Documents, and the Contract Documents and the Contract Documents and the Contract Documents and interesting of the Amount of the Amo The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Payment were issued and payments received from the Owner, and that current payment shown herein is now herein. Issuance, payment and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract. Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates of CONTRACTOR FIELD OWNER CONSTRUCTION MANAGER ARCHITECT This Certificate is not negoliable. The AMOUNT CERTIFIED is payable only to the Contractor named DISTRIBUTION Date: 116/2021 Application and on the Continuation Sect that are changed to conform with the amount certified.) Work covered by this Application for Payment has been completed in accordance with the Contract (Attach explanation (famount certified differs from the amount applied, Initial all figures on this 155,676.50 Date Central Paving Co. Inc. for Payment, Construction Manager as Adviser Edition PERIOD TO: 12/25/2020 AMOUNT CERTIFIED...... APPLICATION DATE: CONTRACT DATE: APPLICATION NO: COMMITMENT NO: CONSTRUCTION MANAGER CONSTRUCTION MANAGER CONTRACTOR: E. By: DEDUCTIONS Application is made for payment, as shown below, in connection with the Contract. AIA Document G703, Continuation Sheet Equivalent, is attached. 2,069,994.29 2,069,994.29 155,676.50 155,676.50 8.193,50 ADDITIONS VIA CONSTRUCTION 1,906,124.29 97.056,798,1 TOTAL COMPLETED AND STORED TO DATE (Column I on G703) 8,193.50 CENTRAL PAVING CO., INC MANAGER(S): Total Retainage (Lines 5a + 5b, or Total in Column Lon G703) TOTAL 1 CONTRACTOR'S APPLICATION FOR PAYMENT Total changes approved in previous months by Owner Total approved this month including Construction Change LESS PREVIOUS CERTIFICATES FOR PAYMENT... Application and Certification BALANCE TO FINISH, EXCLUDING RETAINAGE BALANCE TO FINISH, INCLUDING RETAINAGE CONTRACT SUM TO DATE (Line 1 +- 2)... CONTRACT FOR: Harris Rapidi - Haystack Check here for request to release retainage. 163,870 SUMMARY OF CHANGES IN THE WORK NET CHANGES IN THE WORK..... BARBER VALLEY DEVELOPMENT TOTAL EARNED LESS RETAINAGE.. ORIGINAL CONTRACT SUM... 5% % of Completed Work % of Stored Material (Line 6 from prior Certificate) NET CHANGES IN THE WORK (Lines 4 minus Line 5 Total) CURRENT PAYMENT DUE (Column F + G on G703 (Calumn K from G703) (Line 3 minus Line 6) (Column H on G703 RETAINAGE: CONTRACTOR: 2% ا کے ч é



Harris Ranch Haystack

Date 12/25/2020 Pay Estimate No. 1

Pay Estimate #1

Contra

ontractor - Central Paving	ing					Quantities			Payments	
Client Bld #	Description	Bld Quantity	Units	Unit Price	Total	Previous Current	Total Pr	Previous	Current	Current w/Retention
	Harris Ranch Haystack									
1	Mobilization	1	LS.	52000,00	\$ 52,000,00	10930	\$ 09.0		S 31,200,00 S	29,640,00
7	Demobilization	1	1.5	4900.00	\$ 4,900,00		s -		•	٠
9	Bonds	-	LS.	17500.00	\$ 17,500.00	1001	1.00 \$		\$ 17,500,00 \$	16,625.00
4	Interpoce	1	LS	1.00	3 1,00		\$	•		
	General Site Work						\rightarrow			
5	Clear & Grab	5:55	AC	2300.00	\$ 12,765.00		-		11,500,00	10,925.00
9	Site Structural Fill	12687	ζŚ	16.80	\$ 213,141.60	2000000	5,000.00	•	84,000,00	79,800,00
7	Project Dewatering	-	LS	3500.00	\$ 3,500.00		\$	•		•
80	Tackliter	7	AC	2200.00			\$		-	
on on	Excavation to Subgrade	2127	ঠ	18.20	S 38,711,40	000007	200.00	•	3,640.00	
9	Treffle Control	-	S.	5400.00		0.28	0.20		\$ 1,080,00 \$	1,026.00
##	Construction Surveying	-	IS	1000.00	\$ 1,000.00		\$		\$ - 8	•
	Roads									
12	Road & Sidewalk Subgrade Compact & Prep	17339	SY	125	\$ 21.673.75	2,506.00	2,500.00 \$	٠	\$ 3,125.00 \$	2,968.75
13	6" Minus Unersaked Aggregate Subbase (Imported)	4064	C.S	26.20	_	THE PERSON NAMED IN			•	•
14	34" Minus Crushed Aggregate Base Coarse	1800	ζζ	50.00	00'000'06 S		53	9/	S - S	
15	2-1/2" Asphult Concrete	8902	ŠŠ	11.90			\$	٠	1	£
16	5" Auphalt Concrete (Two Lift Piacement per ACHD)	969	λS	28.40	\$ 19,766.40		S	•		
17	Type "P" Aphalt Repair	286	λS	48.80	\$ 13,956.80	対象を現		٠	•	,
18	Sew Cut Existing Asphalt	1755	LF	1.25	\$ 2,193.75	100.00	100.00	**	\$ 125.00 \$	118,75
91	Standard 6" Vertical Curb and Gutter and Buse Course	5493	I.F	17.90	\$ 98,324.70		ب		•	C
70	6' Wide Concrete Sideralk and Base Course	1897	SY	43.00	\$ 81,571.00	Property .	S	ú	•	
77	15 Wide Concrete Sidemalk and Base Course	3390	SY	42.00	\$ 142,380.00				S S	•
22	Concrete Pedestrian Ramps	250	ŠÝ	133.00			- 2			٠
23	Coacrete Entrances	175	ŠÝ	49.90	\$ 8,732.50			,		
	Water									
24	Install new 1" water service and meter setting	6	Æ	1700.00	\$ 5,100.00		5	,		
25	8" PVC Water Main	640	当	35.40	\$ 22,656,00				•	ı
26	6" PVC Water Main	105	1.7	191.00	\$ 20,055,00		ا د		S - S	
27	6" x 2" Blowoff Arrenbly	_	EA	1500.00	00'005'1 \$		S		•	
28	34" Water Service		Æ	1.00	1.00			•	•	*
29	I" Irrigation Service	m	E	1700.00	\$ 5,100,00				S	•
1 8	3" Water Service with 1-2 Juch Setting	11	E	3700.00	\$ 40,700,00		,		S - S	
34	6" Fire Service With Valve & Blowoff	11	¥	4300,00	\$ 47,300,00		1	,		6
3 2	6" Fire hydrant Assembly	5	EA	7200,00	\$ 36,000,00		6 А		\$,
2 2	Lawer 6"Main Below Existing Non-Pointle Main	4	EA	4700,00	П		en I	•	S - S	2.4
22	Hei Tap Connection to Existing 12" PVC Main	2	Ä	1900.00	r		5	-	s - s	•
ž,	Hat Tap Cennection to Existing 16" DI Maln	112	EA	1900,00			1		S S	
25	Adjust Pristing Water Valve to finished grade		23	1300.00	S 1,300.00				S - S	4
2	Sewer							~		
37	Connect to New 8" Main to Existing Sewer Manhale	-	EA	7000,00	\$ 7,000.00		\$		S	•
388	8" SDR34, PVC Sever Main	327	1.5	72.00			- 8	,	S S	
36	4" SDR35, PVC Sewer Service	102	当	74.10	\$ 7,558,20		69	,		
					ı					

1 EA 380000 5 380000 6 5 5 5 5 5 5 5 5 5	90	TO SOUTH THE SECTION OF THE SECTION				ł		Name and Address of the Owner, where		١		\$	•
Countrière Service (Edit Notal Journal 77, Countrière (Countrière Service (Edit Notal Journal 17, 12, 10, 1000, 0 5, 2,000, 0 100, 1 5 5, 1 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5	3	19º Clandard Sasitary Sever Menhole	-	FA	3800.00	ья	3 800 00		•				
Content for State Late, I had been been been been been been been bee	41			1	1400.00			- Constitution					
Contention Section 1986, 1987 1988 28 200000 2 200000 2 200000 2 2	42		,	ā	1400.00	69	9,800.00		•			5	٠
Figure from the count 1 15 320000 5 320000 1 1 1 1 1 1 1 1 1	ţ	alo (Cut Exist.	m	EA	3100.00	69	9.300.00		٠			69	
Prof. Consist Data Data Data Data Data Data Data Da	46	Adjust Sewer Manhole to Grade	-	2.7	3200,00	N	3,200.00		•			S	•
The Continue Daily Page St. 2000 St. 2		Storm Drain											
Consent to Enablish Process 21	45	12" PVC C-900 Sterm Drain Pipe	825	1.5	48.40		00'086'68		•			s	•
Control Existing Pric Pric Pric Pric Pric Control Existing Pric Control Existing Pric Pric Pric Pric Pric Pric Pric Pric	AR.	18" PVC C-900 Storm Drain Pipe	512	3	69.40		15,532,80		•			S	•
President Resident President Resident	5	Connect to Existing 18" C-900 Storm Drain Pipe	7	EA	1300.00		2,600.00	が記され	•			\$	•
Weight With the Project Weight	80	Type I Cutch Basin	61	E	1300.00		4,700,00	STATE OF THE PARTY	20.0			S	•)
Wiles Work Positive Storm benick Standard 2 EA 740000 5 4,800,00 6 5 5 5 5 5 6 7 Coloration of Standard Standar	2	48" Standard Sterre Drain Manhele	8	EA	3300.00		00'005'91		•			ы	
Control Delication Properties 7 15 150,000 5 2,000.00 100 5 5 5 5 5 5 5 5 5	7 2	Wice Way Best Five Storm Deals Monhale	6	EA	7400.00		4.800.00					2	•
Contact the Part of Contact the Contact that the Contac	20	1	1	Į.	1800 00		2 600 00			ŀ		50	
Properties and Parkers Properties Prop	7		-	1	2800.00	١	2 800 00		•			65	•
Particle	23	Adjust Storm Dram Wanner to Crade	-	3	70000		2000						
Figure 1				101	00,0001		000001	and of the last	1 00			+	1,710,00
Controlled Note Controlled	23		-	3	1900.00	9 6	00,000,00	A PO	00.1	l	l	+-	9 405 00
Final Stringertion and Particular String S	75	Install all BMPs Prior to Construction		3	00.0066	9 6	2,500,00	100	2.0		L		1
Final Site Inspection and The Rivort	52	Condonnessly Inspect and Maintale BMP's		3	00,007	9	1,700.00			١		9	
Friedrick Principality 1	26	Flant Site Inspection and File ENOT	-	r.S	826.00	я	826.00					•	1
Firegular Null, & Filliup		Irrigation											1
Total Value Caste Value	23	1. Jerfgallon Mats & Fittings	35	I.F	43.60	69	1,526.00	格でき	•			2	*
Consister to Existing System 1	88	4" Gate Valve	7	E	736.00	69	1,472,00		•			2	1
Complete Phen in Parking Degree 1 15 100,000 5 1,000.00 1 1,000.00 5 1,000.00 1 1,000.00 5 1,000.0	5	Connect to Editing System	-	LS.	639.00	69	639,00		Ü	64)		9	
Complete Pine Irriguless Design and Installation 1 LS 50700.00 S 5700.00	5	Maio Line Drain	-	E	1100.00	1	1,100,00		1			s	1
Integrated Temporal Landscaping 11 LS 6400.00 S	15	Complete Fine Imgatton Design and Installation	~	27	50700,00		50,700.00					S	•
Interest Landscaping Lan	6	Irrigation Steering	-	rs	6400,00	s	6,400.00			\$		S	
Americal Tuppell 1130 CY 27.50 S 31,075,00 2 5 5 5 5 5 5 5 5 5	3												
Treet Comparison Tree Carlo	G		1130	Š	27.50		31,075.00			Ü		s	£
Trees Removing plant in Planter Poto 1 LS 7100.000 S	3 2	Taken	33179	SF	0.51		16,921.29	Acres of the	•			S	•
Florenting plants to Planter Poto 1 LS 7100,000 S 20,900.000 Marchest plants to Planter Poto 11 EA 1900,000 S 20,900.000 Marchest Poto S S S S S S S S S	5 8	Tres	98	E	743,00		53,898,00			9		\$	
Train Racepitcal 11 EA 1900.000 S 26,900.000 C S S S S S S S S S	8 8	Flowerine plants in Planter Pots	-	TS	7100.00		7,100,00					S	
Pacified	8 0	Tret Reconfine	=	EA	1900.00		20,900,00		,			s	. 53 1
Three Craises Street Signs and Lightling Less Street Light Street Signa & Poten Leg Street Light Street Signa & Street Street Street Signa & Street S	4	Reacher	=	Z	3300.00	1	36 300 00	1				64	
Tree Grates Street Signs and Lightling 1	8 8	Physics Poly	22	A	2100.00	1	16,200.00					8	
Street Signs and Lightling 1.5 10400,00 5 10,400,00 6 10,400,00 7 5 5 5 5 5 5 5 5 5	9 5	The Gate	z	E	5100.00	-	12,200.00		١,			S	
Street Signa	2	Street Sions and				1							
Removal of Existing Type Lt & Li Barricades 1 LS 1600,00 S 1,600,00 Marcal Lights - 25 n Pole with Clear A Fixture 2 EA 5700,00 S 11,400,00 Marcal Lights - 25 n Pole with Clear B Fixture 5 EA 7000,00 S 25,000,00 Marcal Lights - 2 n S S S S S S S S S	41	THE CHICAGO INC	-	153	10400,00	П	10,400,00			Į		S	,
Street Lights - 26 ft Pole with Class A Fisher 2 EA 7700,00 5 11,400,00 6 25,000 6 2 2,000	1	Removal of Felicine Type II & III Barricades	-	87	1600 00		1,600,00		١,			\$	•
Street Lights - 30 f Pale with Crise Fixture 5 EA 7000,00 5 35,000,00 5	7/2	Street Liebra - 25 D Pole with Class A Fixture	6	EA	5700.00	69	11,400,00					5	
Sirret Light Electrical Conduit & Wire 1 LS 36,000,00 S 2,800,00 S	13	Street Lights - 30 D Pale with Class B Fix ture	5	A	7000,00	1	35 000 00		×			69	
Province Continue Existing Proceedent Steples 1 E.S 2800.00 S 2,800.00 S 2,800	4	Strate Lake Electrical Conduit & Wite	-	5	36000 00	1	36 000 00	ない。		5		S	•
Parentest Stipling and Symbols	5	Powder Cost Street Slots & Poles	-	31	2800.00		2,800,00		١.		j	s	Í
Total Contract Tota	٩		-	31	4700 00	Ì	4 700 00		•			8	
Total Contract Total Contract	"	Laventeet dupling and dynamic	. 90	3	715	Т	860.00					69	
Previous Payment This Payment Payment Contract (no Estication) Retention) Retention) Retention)	78	Obtrevare existing raveness outpe	3	3	4.13	, 6	2000	The state of the s		,		9	Ι.
Payment This Payment Payment This Payment Est (w/o Estimon) retention) Retention) Ret						4		The state of the s			1	1	
retention)						Tota	Contract			Paymen (no			ent This ate (w/
										- Contraction			

BARBER VALLEY DEVELOPMENT, INC. 4940 E. MILL STATION DRIVE, STE. 101-B

BOISE, ID 83716

R Columbia Bank 521 12TH AVE. SOUTH

6327

34-827/1251

12/28/2020

Central Paving Co., Inc. ORDER OF _

**155,676.50

DOLLARS

Central Paving Co., Inc. PO Box 15010 Boise, Idaho 83715

MEMO CID Haystack SW 12 & 13

₩006327₩

BARBER VALLEY DEVELOPMENT, INC. Central Paving Co., Inc.

12/28/2020 Discount 6327

Type Reference Date 12/28/2020 Bill

Original Amt. 155,676.50 Balance Due 155,676.50

Check Amount

155,676.50 155,676.50

Payment

155,676.50

6327

BARBER VALLEY DEVELOPMENT, INC.

Central Paving Co., Inc.

Type Reference Date 12/28/2020 Bill

Original Amt. 155,676.50 **Balance Due** 155,676.50 12/28/2020

Discount

Payment

Check Amount

155,676.50 155,676.50

Columbia/ICB- CHEC CID Haystack SW 12 & 13

155,676.50

AIA Document G732 2 09
Application and Certification for Payment, Construction Manager as Adviser Edition

DISTRIBUTION TO:	CONSTRUCTION MANAGER ARCHITECT	CONTRACTOR		ractor's knowledge, information and belief the ted in accordance with the Contract or Work for which previous Certificates of other current payment shown herein is now		WONTENSEN BUT	NV.	ON MARINA	The state of the s	ns of the Work and the data comprising this nat to the best of their knowledge, a quality of the Work is in accordance with int of the AMOUNT CERTIFIED.	323,818.64	applied Initial all figures on this conform with the amount certified.)	\$ 323,8/8.67	Date: 17 Cl		
APPLICATION NO: 2 000	PERIOD TO: 1/31/2021	CONTRACT DATE:	COMMITMENT NO:	The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates of Payment ware issued and payments received from the Owner, and that current payment shown herein is now	due, CONTRACTOR: Central Paving Co., Inc.	Rstrictland	State of The of the County of The State	Subscribed and swom to before me his 15th day of Palake Notary Public U. Notary Public S. 300 200 200 200 200 200 200 200 200 200	CERTIFICATE FOR PAYMENT	In accordance with the Contract Documents, based on evaluations of the Work and the data comprising this application, the Construction Manager(s) certify to the Owner that to the best of their knowledge, information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.	AMOUNT CERTIFIED	(Attach explanation if amount certified differs from the amount applied. Initial all figures on this Application and on the Continuation Sheet that are changed to conform with the amount certified.	CONSTRUCTION MANAGER	Mark College	CONSTRUCTION MANAGER	
					2,069,994.29 - due.	2,069,994.29 - 408,942.25 - By:	State of: County of	20,447.11 Notur 388,495.14 My C	.155,676.50 . CER	232,818.64 applied inform the C	AMO	(Atta	CON	By	DEDUCTIONS	
		VIA CONSTRUCTION MANAGER(S):		vith the Contract AIA		2.7	,= 20,447.11	•		7.1	1,661,052.04				ADDITTONS	
BARBER VALLEY	DEVELOPMENT	FROM CONTRACTOR: CENTRAL PAVING CO., INC MANAGER(S):	Contact: Terry McEntee	CONTRACT FOR: Haring Fainth - Neystack - 1904-9.] CONTRACTOR'S APPLICATION FOR PAYMENT Application is made for payment, as shown below, in connection with the Contract. AIA Document G703, Continuation Sheet Equivalent, is attached.	1 ORIGINAL CONTRACT SUM	3 CONTRACT SUM TO DATE (Line I +- 2)	8 5% % of Completed Work	teriel . + Sb, or Total in Column L on RETAINAGE	(Lines 4 minus Line 5 Total) 7 LESS PREVIOUS CERTIFICATES FOR PAYMENT	(Line 6 from prior Certificate) 8. CURRENT PAYMENT DUE 9. BALANCE TO FINISH, INCLUDING RETAINAGE (Line 3 minus Line 6)	10. BALANCE TO FINISH, EXCLUDING RETAINAGE (Column K from G703)	Check here for request to release retainage.			SUMMARY OF CHANGES IN THE WORK	Total changes approved in previous months by Owner

SUMMARY OF CHANGES IN THE WORK	ADDITTONS	DEDUCTIONS	CONSTRU
Total changes approved in previous months by Owner			
Total approved this month including Construction Change			
Directives			By.
TOTAL			This Certific
NET CHANGES IN THE WORK			herein Issu

This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance, payment and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.

Harris Ranch Haystack

Date 1/29/2021 Psy Estimate No. 2

Pay Estimate #2

Con

Contractor - Central Paying	מ						Quantities			Payments	
Client Bid #	Description	Bid Quantity	Units	Unit Price	Total	Previous	Previous Current	Total	Previous	Current	Current w/Retention
	Harris Ranch Havstack								- 1	- 1	
,	Mehilizatian		IS	52000 00	\$ 52,000.00	09.0	0.40	1.00	\$ 31,200.00	\$ 20,800,00	19,760 00
	Demobilization	-	1.5	T	\$ 4,900.00			- 0.5	S		
2 2	Bonds	-	LS			1 00		1.00	\$ 17,500.00		
0 4	Insurance	-	ST	Г	S 100	•		(1)		,	
	General Site Work				- 1			-+	- 1	,	2
5	Clear & Grub	5.55	AC	2300.00			-		- 1	- [2000000
عاد	Site Structural FM	12687	CY	16.80	23	5,000 00	w	\rightarrow	\$ 84,000 00	84	19
7	Project Devatering		1.5		\$ 3,500,00		0.25	0.25		875.00	63125
c	Tickifer	3	AC	2200.00	5 4,400.00		_	-		- 1	
9	Extravation to Subgrade	2127	ζλ	18.20	S 38,711.40	30	5	1,100.00		5	15,561,00
1	Traffic Control	-	27	5400.00	\$ 5,400,00	0.20	0.20	0,40	S 1,080.00	\$ 1.080.00	1,026.00
= =====================================	Continuedon Surveying	-	ST	1000,00	S 1,000,00				2	,	
	Roads								-1		
12	Rund & Sidewalk Subgrade Compact & Prep	17339	SY	1,25	\$ 21,673,75	2,500 00	7,425.00	9,925.00	\$ 3,125.00	\$ 9,281.25	8,817.19
2 =	6" Minus Uncrushed Aggregate Subbare (Imported)	4064	CY	26.20	\$ 106,476,80		A SECOND	2.0	S		
1 2	M4" Minus Cruthed Aggragate Base Coarse	1800	ζ	50,00	\$ 90,000,00		IESSES SIL		. · · · · · · · · · · · · · · · · · · ·		
2	2-1/2" Asphalt Concrete	8902	SY		\$ 105,933,80	,		٠		· S	,
31	S" Asphalt Concrete (Two Lift Placement per ACHD)	969	SY	28.40	\$ 19,766.40		SQ LUBBER	•	S	S	
21.	Type "P" Asphalt Repair	286	SY	48,80	\$ 13,956,80	•	UNDER CO.			· S	
18	Saw Cut Existing Asphalt	1755	1.	1.25	\$ 2,193.75	100.00		100.00	\$ 125 00	S	
97	Standard 6" Vertical Curb and Gutter and Base Course	5493	11		\$ 98,324,70	*			2		
51	16' Wide Concrete Sidewalk and Base Course	1897	SY			•				N	S
7 5	14' Wide Concrete Siderwalk and Base Course	3390	ŠĶ		\$ 142,380.00					S	
17	Concrete Pedestrian Ramm	250	λS	Г	\$ 33,250.00				S		S
27 62	Concrete Entrances	175	λS	49.90		•				S	
	Water										
24	Install new 1" water tervice and meter setting	9	EA	1700.00	\$ 5,100,00	•			5	-1	
36	8" PVC Water Main	640	LF	35.40	\$ 22,656,00	•	345.00	345.00	S	S 12,213.00	\$ 11,602.35
20	6" PVC Water Mala	105	5	191 00	S 20,055.00		THE SECTION ASSESSMENT OF THE SECTION ASSESS		5	S	
7.2	6" 1 2" Blowoff Assembly	-	EA	1500,00	S 1,500.00	-	To Lingshift	•			
18	M4" Water Service	-	EA	1.00	S 1,00			•			
20	1" Irrigation Service	3	EA	1700.00	5 5,100,00		The second	è	S	ľ	9
1 5	1" Water Service with i- 2 Inch Setting	11	EA	3700.00	S 40,700.00		3.00	3.00	S	-	×
20 E	6" Fire Service With Valve & Blowoff	=	EA	4300,00	\$ 47,300,00	- 10	2,00	2.00	S	1	8
33	6" Fire hydrani Assembly	5	EA	7200.00	\$ 36,000,00	,	1.00	1.00	S	S 7,200.00	6,840 00

1 LS 10400.00 S 10,400.00 C S C S C S 1 LS 1600.00 S 1,600.00 C S C S C S 2 EA 5700.00 S 31,000.00 C S C S C S 3 LS 2800.00 S 2,800.00 C S C S C S 4 LS 2,15 S 860.00 C S C S C S 4 LS 2,15 S 860.00 C S C S C S 5 LS 2,15 S 2,800.00 C S C S C S 6 LF 2,15 S 860.00 C S C S C S 7 LS 7,003 C 1,003 C 1,003 C 1,003 8 LS 1,003 C 1,003 C 1,003 9 LS 1,003 C 1,003 C 1,003 1 LS 1,003 C 1,003 1 LS 1,003 C 1,003 C 1,03 1 LS 1,003 C 1,033 C 1,033 1 LS 1,033 C 1,033 C 1,033 1 LS 1,003 C 1,033 C		Street Signs and Lighting							,	
Street Lights - 26 Remain of Existing Type II & III Barrietedes 1 LS 1600.00 S 11,400.00 C S C S C S C S C S C S C S C S C S C S C S C S C S C S C S C S C S C S C S C C	1	L	-	571	10400.00	10,400.00	•	S		
Remortal of Existing Type A till Bartesides 1 LS 1000.00 S 1,000.00 C S C C	'n	and in much			00 000	00000	39			
Street Lights - 25 ft Pole with Clean A Pisture 2	72	Removal of Existing Type II & III Barricades		3	1600.00	3 1,000.00		, .		
Street Lights - 30 it Pele with Clare ii Filture 5	12	Street Lights - 25 ft Pale with Class A Plature	2	ā	2700.00	11,400.00		,		
1 LS 36000.00	1	Street Liebts - 36 ft Pale with Clars B Flature	5	EA	7000,00	00'000'56 \$	•		2	
1 1.5		The state of the s	-	1.0	36000 00	00 000 95	•	•		
7 2800.00 S 2.800.00 S 4.700.00 S 4.700.00 S 4.700.00 S 4.700.00 S 5.200.00 S	75	Stripe Light Lieting Conduit of This	-	3	2000					
1 LS 4700,00 S 4,700,00 - S - S - S S - S 400 LF 2.15 S 860,00 - S - S - S S - S - S - S S - S - S - S - S S - S - S - S S - S - S - S S - S - S S - S - S S - S - S S - S - S S - S - S S - S - S S - S - S S - S - S S - S - S S - S	76	Pewder Cost Street Signs & Poles	-	S	2800,00	2,800.00				
400 LF 2.15 \$ 860.00 . \$	1	Pavernent Stipting and Symbols	_	IS	4700.00	S 4,700.00	25	, s		
S - S - S - S	1	Oktional Driving Basement String	400	4.	2.15	00'098	٠			
Previous Payment This Paym Payment Est (w/o Estin (no retention) Retention) Ret \$ 163,870.00 \$ 245.072.75 \$	78	Constitute Leading 4 at Check Confess	3							
Previous Payment This Paym Payment Est (w/o Estin (no retention) Retention) Ret \$ 163,870,00 \$ 245,072,25 \$										
Payment Est (w/o Estin (no retention) Retention) Ret \$ 163,870.00 \$ 245,072.25 \$								Previous	Payment This	Payment Th
\$ 25.000 \$ 00.000 \$						Total Contract		Payment (no retention)	Est (w/o Refention)	Estimate (v Retention)
		A CONTRACTOR OF THE PROPERTY O				\$ 2,069,994,29		\$ 163,870,00	\$ 245,072.75	332,8

BARBER VALLEY DEVELOPMENT, INC. 4940 E. MILL STATION DRIVE, STE. 101-B

BOISE, ID 83716

Columbia Bank 521 12TH AVE. SOUTH

6342

34-827/1251

2/11/2021

PAY TO THE ORDER OF

Central Paving Co., Inc.

**323,818.64

DOLLARS

Central Paving Co., Inc. PO Box 15010 Boise, Idaho 83715

MEMO

App. #2 Harris Ranch Haystack SW 12 & 13 CID

6342

@006342@

BARBER VALLEY DEVELOPMENT, INC. Central Paving Co., Inc.

Date 2/10/2021 Bill

Type Reference

Original Amt. 323,818.64 Balance Due 323,818.64 2/11/2021 Discount

Payment 323,818.64

Check Amount 323,818.64

Columbia/ICB- CHEC App. #2 Harris Ranch Haystack SW 12 & 13 CID

323,818.64

6342

BARBER VALLEY DEVELOPMENT, INC. Central Paving Co., Inc.

Date

2/10/2021

Type Reference

Original Amt. 323,818.64 **Balance Due** 323,818.64

2/11/2021

Discount

Payment 323,818.64

Check Amount

323,818.64

Columbia/ICB- CHEC App. #2 Harris Ranch Haystack SW 12 & 13 CID

323,818.64

AIA Document G732 2 09

Application and Certification for Payment, Construction Manager as Adviser Edition

BARBER VALLEY DRYELOPMENT	APPLICATION NO: (3) 000	DISTRBUTION TO:
	PERIOD TO: 2/25/2021	CONSTRUCTION MANAGER ARCHITECT
FROM CONTRACTOR: CENTRAL PAVING CO., INC MANAGER(S):	CONTRACT DATE:	CONTRACTOR
Contact: Tepr McEntee CONTRACT FOR: Harris Ranch - Haystack -19045	COMMITMENT NO:	
IENT ction with the Contract AIA Document G703,	The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates of Payment were issued and payments received from the Owner, and that current payment shown herein is now	or's knowledge, information and belief the fin accordance with the Contract fork for which previous Certificates of hat current payment shown herein is now
1	due CONTRACTOR: Central Paving Co., Inc.	
3 CONTRACT SUM TO DATE (Line 1 + 2) 4. TOTAL COMPLETED AND STORED TO DATE (Column I on G703) 700,443.20.7 5. RETAINAGE.	TStrictland.	1202 02 E
256 % of Completed Work 790,443.20)= 39,522.16 /-	State of TLAHAC County of ADA	THE WALL OF THE WA
30 529 16	before me	A O AKY
-[:]	or	PUBY O OF WHITE
ATES FOR PAYMENT388,495,14	CERTIFICATE FOR PAYMENT	7111 OF 1117
CURRENT PAYMENT DOUGHT	In accordance with the Contract Documents, based on evaluations of the Worlf and Ma data compappication, the Construction Manager(s) certify to the Owner that to the best of their knowledge,	The Work and the data comprising this the best of their knowledge,
9. BALANCE TO FINISH, INCLUDING RETAINAGE (Line 3 minus Line 6) 10. BALANCE TO FINISH, EXCLUDING RETAINAGE 1,279,551.09	information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.	ality of the Work is in accordance with of the AMOUNT CERTIFIED.
(Column K from G703)	AMOUNT CERJIFIED362,425.90	362,425.90
(Att	(Attach explanation if amount certified differs from the amount applied. Initial all figures on this Application and on the Continuation Sheet that are changed to conform with the amount certified.)	lied. Initial all figures on this form with the amount certified.)

PE#2 Notated the certificate for payment \$323,818.14. This was an export 1 should have been \$232,818.64. This resulted in an overpayment on PE#2 for \$91,000. The amount due for PE 3 is \$12,425.90 1655 \$91,000 overpayment bealing \$271,425.90.

CONSTRUCTION MANAGE

By:

CONSTRUCTION MANAGER DEDUCTIONS ADDITIONS TOTAL Total changes approved in previous months by Owner
Total approved this month including Construction Change
Directives SUMMARY OF CHANGES IN THE WORK NET CHANGES IN THE WORK

9.9.21

By:
This Certificate is not negotiable. The AMOUNT CERTITIED is pupuble only to the Contrastor named herein. Issuance, payment and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.

Call to

Harris Ranch Haystack

Date 2/25/2021

Pay Estimate No.

Pay Estimate #3

24,605.00 17,768 NN 2,493.75 8 645 00 5,314,06 38 952 85 4,845.00 9,920.85 w/Retention Current 2.625.00 S 13,440 00 11,100,00 S 25,900,00 8,600,00 S 30,100,00 9,100 00 Payments 5,593,75 41,003 00 5,100 00 S 10,443.00 Current 11,500,00 1,600 00 8 20,020 00 52,000.00 875.00 S 11,100,00 17,500,00 2,160,00 12,406,25 640.00 S 12,213,00 7,200,00 125 00 Previous 14,400,00 S S 5.00 1.00 00 001 3,00 00 00 00 0.40 Total Quantities Current 1,565.00 900.00 295.00 500.00 7.00 0.75 3.00 10,000,00 1.00 3.00 2 00 1.00 2.00 1,100,00 Previous 9,925 00 345,00 0 40 100 00 3,500 00 38,711,40 5,400,00 1,000,00 4,900,00 13,956.80 2,193.75 98,324.70 90,000,00 105,933 80 19,766 40 33,250 00 8,732,50 22,656.00 40,700.00 47,300.00 36,000.00 1.00 1.00 12,765,00 4,400 00 21,673,75 81,571,00 5.100,00 52,000,00 106,476 80 142,380.00 1,500 00 Total Unit Price 4900.00 17500.00 1500.00 1.00 1700.00 3700.00 4300.00 7200.00 2300.00 16.80 3500.00 2200.00 18 20 5400.00 1000.00 52000.00 1700,00 35.40 191 00 50,00 11.90 28,40 1.25 17.90 43.00 42.00 133.00 1 25 48.80 49.90 1.00 Units 2 2 2 2 15 CY AS CY SY CY SY SY SY SY ζ EA E E E E E E E Bid Quantity 17339 4064 1800 8902 696 13687 5493 1897 3390 175 2127 286 1755 640 105 Standard 6" Vertical Curb and Gutter and Base Course 5" Asphall Concrete (Two Lift Placement per ACHD) Type "P" Asphall Repair 6" Minus Uncrushed Aggregate Subbase (Imported) Harris Ranch Haystack General Site Work Road & Sidewalk Subgrade Comput: & Prep 15' Wide Concrete Sidewalk and Base Course Water install new 1" water service and meter setting 3/4" Minus Crushed Aggregate Base Coarse 6' Wide Concrete Sidewalk and Base Course Description 2" Water Service with 1- 2 Inch Setting 6" Fire Service With Valve & Blowoff Concrete Pedestrien Romps 6" Fire hydrant Assembly Saw Cut Existing Asphalt 6" x 2" Blowoff Assembly Excavation to Subgrade Construction Surveying 2-1/2" Asphalt Concrete * PVC Water Main 6" PVC Water Main Concrete Entrances Project Dewatering Site Structural Fill 4" Water Service Traffic Control Demobilization Clear & Grith Mobilization Tuckifier Contractor - Central Paving Client Bid# 밁 7 7 72

33	Lower 6"Main Below Existing Non-Polabic Main	4	EA	4700.00	S	18 800.00	•	4.00	4.00	0	0	18 800.00	4	17 860 00
34	Hot Tap Connection to Existing 12" PVC Main	۲۱	EA	1900.00	S	3,800,00) •	2.00	+		T	1	+	3,610,00
35	Hot Tap Connection to Existing 16" DI Main	12	Ä	1900,00	S	22,800 00		10.00	10.00	S	5	~	S	18,050,00
36	Adjust Existing Water Valve to finished grade	-	ST	1300.00	S	1,300.00		方にはは		S	S		+-	
	Server				3						-			
37	Connect to New 8" Main to Existing Sewer Manhole	_	8	7000,00	S	7,000.00	1.00	1827	1 00	S 7,000,00	3,00.0	•	S	•
38	8" SDRJS, PVC Sever Main	327	Ή	72.00	N	23,544 00	327.00	が以入り	-	["	t	*	S	ŧ
39	4" SDR35, PVC Sewer Service	102	LF	74.10	S	7.558 20		102.00	****	S	8	7,558,20	S	7,180.29
40	6" SDR3S, PVC Sewer Service	515	LF	78,10	S	40,221.50	390.00	-80.00	-	\$ 30,459.00	-		-	5,935,60
41	43" Standard Santtary Sewer Manhole	-	EA	3800.00	s	3,800.00	1.00	THE STATE OF THE PARTY OF THE P	-	\$ 3,800 00	-	1	+	٠
42	Connect New Service to Exist. Main (Insert-a-Tee Connection)	7	EA	1400 00	N	00 008 6	00 9	1.00	7.00		S 00.0	1,400.00	-	1,330.00
45	Connect New Service to Exist. Main (Cut Exist. Main & Install 1 ee)	Е	EA	3100.00	(C)	9.300.00	1	3.00	3.00		4	1		8.835.00
44	Adjust Sewer Manhale to Grade	1	LS	3200,00	S	3,200.00		5	-	S	S		S	
	Storm Drain				L						-			
45	12" PVC C-900 Sternt Drain Pipe	825	1.5	48,40	S	39,930,00					V:	•	v	
46	18" PVC C-900 Storm Drain Pipe	512	LF	69.40	s	35,532.80				2	5		S	
47	Connect to Existing 18" C-900 Storm Drain Pipe	7	EA	1300 00	S	2,600.00		1770 E. S.			S	•	s	
48	Type I Catch Basin	61	EA	1300,00	S	24,700.00	•			S	5 -		S	31
49	43" Standard Storm Drain Manhole	5	EA	3300.00	S	16,500.00	•	0.770	1043		S	•	S	
50	Wise Way Dual Pipe Storm Drain Manhole	C1	EA	7400.00	P.	14,800 00		N. C. P. P. S. S. S.			1		S	٠
51	Core Drill & Connect New Pipe to Existing Manhole/Inlei	7	EA	1800.00	S	12,600 00	•		•		S	%	S	
52	Adjust Storm Drain Manlant to Grade	_	LS.	2800 00	S	2,800,00	Ť			S	5	Ē	60	ĵ
	SIVPPP				_	Centro		_			-			
53	Prepare and File SWPPP, ENOI, ACHB ESC Plan	-	ST	1800.00	S	1,800,00	1 00	2000000000	1 00	5 1,800,00	S 00'	ě	S	
54	Install all BMPs Prior to Construction	-	LS	00 0066	s	00.006,6	1.00		1.00	L	-		S	
55	Continuously Inspect and Maintain BMP's	1	LS	1700,00	S	1,700 00	0.20	0.20	0 70	\$ 340.00	L	340 00	65	323.00
95	Final Site Inspection and File ENDT	-	LS	826.00	s	826.00						•	-	
	Irrigation										_			
23	4" Irrigation Main & Fiftings	35	LF	43.60	S	1,526.00	•	(10 mm 15)	•	S	S	٠	S	
58	4" Gate Valve	7	EA	736 00	S	1,472.00					5	٠	S	
59	Connect to Existing System	1	LS	639.00	S	639,00		The section is	٠	S	· ·	*	S	
90	Main Line Drain	1	EA	1100.00	s/s	1.100.00		10年八年	4		S	٠	S	
19	Complete Fine Irrigation Design and Installation	1	ST	50700,00	S	50,700.00		0.10	0.10		9	5,070,00	-	4,816.50
29	lirigation Steering	1	1.5	6400.00	S	6,400,00		0.70	0.40	S	S	4,480 00	S	4,256.00
	Landscaping										-			
63	Amended Topsoil	1130	ζλ	27,50	S	31,075.00				S	ψ,		S	
64	Lawn	33179	SF	0,51	N	16,921,29	•	Victoria de	•	· ·	S	٠	S	,
65	Trees	98	EA	743,00	S	63.898.00		04182		5	50	,	Ş	•
99	Flowering plants in Planter Pots		LS	7100.00	S	7,100.00	•			S	S	١	s	
_ 29	Trash Receptical	Π	EA	1900,000	S	20,900,00		4.00	4.00	S	S	7,600.00	S	7,220.00
89	Benches	11	EA	3300,00	S	36,300,00	(d	2.00	5,00	8	S	16,500,00	S	15,675,00
69	Planter Pots	22	EA	2100.00	S	46.200.00	15	00'9	00.9	S	S	12,600.00	S	11,970.00
			,	20000	١	00 000 0		1			1		L	

	Street Signs and Lighting					1								
71	Street Signs	1	ITS	10400.00	\$	10,400.00	•			s		40	69	
77	Removal of Existing Type II & III Barricades	1	ST	1600.00	49	1,600,00	•			s		*	69	
73	Street Lights - 25 ft Pole with Chan A Fixture	2	ā	5700.00	s	11,400.00	•	1.00	1.00	64	•	5,700.00	S 0:	5,415.00
74	Street Lights - 30 ft Pole with Class B Fixture	S	图	7000.00	57	35,000.00		4.00	4.00	s		28.000.00	S	26,600,00
75	Street Light Electrical Conduit & Wire	-	IS	36000,00	s	36,000.00				s	•		и	
76	Powder Cost Street Signs & Poles	1	ST	2800.00	\$	2,800.00				87			69	•
11	Pervenent Stipting and Symbols	1	LS	4700.00	ş	4.700.00			•	S	•		69	
82	Obliterate Exhibing Pavement Stripe	400	LF	2.15	S	860.00			0.000	S			69	
					ક્ર	•	15			s	17:11		67	
										Previous		Payment This		Payment This
					Tot	Total Contract				Payment (no miention	ent Lifon)	Est (w/o Ratention)		Estimate (w/ Relention)
		1	Į.		67	62,466,690				\$ 408.9	42.25	0.008, 186, S. 35, 500, 5	5	362,425,9

6316 **COLUMBIA BANK** 877,272,3678 : columbiabank.com 34-827/1251 BARBER VALLEY DEVELOPMENT INC CHECK ARMOR 877 W MAIN ST STE 501 BOISE, ID 83702-6018 4/12/2021 Central Paving Co., Inc. 271,425.90 PAY TO THE ORDER OF_ Two Hundred Seventy-One Thousand Four Hundred Twenty-Five and 90/100******** DOLLARS Central Paving Co., Inc. PO Box 15010 Boise, Idaho 83715 MEMO Pay App #3 19045 CID Haystack AUTHORIZED SIGNATURE

6316 **BARBER VALLEY DEVELOPMENT INC** Central Paving Co., Inc. 4/12/2021 Type Reference Original Amt. **Balance Due** Discount Payment Date 271,425.90 27',425.90 3/1/2021 271,425.90 **Check Amount** 27',425.90

Columbia/ICB- CHEC Pay App #3 19045 CID Haystack 271,425.90

BARBER VALLEY DEVELOPMENT INC 6316 Central Paving Co., Inc. 4/12/2021 Date Type Reference Original Amt. Balance Due Discount F'ayment 3/1/2021 271,425.90 271,425.90 271,425.90 271,425.90 **Check Amount**

006316#

0

AIA Document G732 2 09
Application and Certification for Payment, Construction Manager as Adviser Edition

DEVELOPMENT		APPLICATION DATE: 4	OWNER
		PERIOD TO: 03/31/2021	CONSTRUCTION MANAGER
FROM VIA CONSTRU CONTRACTOR: CENTRAL PAVING CO., INC MANAGER(S):	VIA CONSTRUCTION MANAGER(S):	CONTRACT DATE:	CONTRACTOR
Contact Terry McEntee CONTRACT FOR: Harris Ranch - Haystack -19045		COMMITMENT NO:	
CONTRACTOR'S APPLICATION FOR PAYMENT Application is made for payment, as shown below, in connection with Continuation Sheet Equivalent, is attached.	ENT tion with the Contract AIA Document G703,	The undersigned Contractor certifies that to the best of the Contractor knowledge, information and belief the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates of Payment were issued and payments received from the Owner, and that current payment shown herein is now	tor's knowledge, information and belief the in accordance with the Contract Work for which previous Certificates of that current payment shown herein is now
ORIGINAL CONTRACT SUM NET CHANGES IN THE WORK	2,069,994.29 -	due. ConTRACTOR: Central Pavine Co. Inc.	•
DA	2,069,994,29 . olumn I on G703)	1 702	1
J 1)= 63,532.02	المركبة المراجا	Date: HEM 12, 202
b 5% % of Stored Material		om to before me	William Co.
(Column H on G/03) Total Retainage (Lines 5a + 5b, or Total in Column L on G703) TOTAL EARNED LESS RETAINAGE.	1,6703) 63,532.02 7,108.33 1,207,108.33 1,008.33	My Commission expires 5 20 20 20 20 20 20 20 20 20 20 20 20 20	NOTARY IN
(Lines 4 minus Line 5 Total) 7. LESS PREVIOUS CERTIFICATES FOR PAYMENT	750 921 04	CERTIFICATE FOR PAYMENT	PUBLIC III
	1456 187 29	In accordance with the Contract Documents, based on evaluations	A SE With Build Plan comprising this
	,885.96	application, the Construction Manager(s) certify to the Owner that to the belof bit their enlowinger information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to assument of the AMOINT CFRITERD	The bed for they knowledge. Table 4 Me Work is in accordance with of the AMON NT CERTIFIED.
 BALANCE TO FINISH, EXCLUDING RETAINAGE (Column K from G703) 	799,353.94	AMOUNT CERTIFIED	456,187.29
Check here for request to release retainage.		mount a	olied. Initial all figures on this from with the amount certified.)
		CONSTRUCTION MANAGER By Milwes Mandle	# 456,187,29
SIMMARY OF CHANGES IN THE WORK	ADDITIONS DEDITIONS	CONSTRICTION MANAGER	7 /
Total changes approved in previous months by Owner	H		
Total approved this month including Construction Change Directives		BY	Date:
Т	TOTAL	This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named	ayable only to the Contractor named
NET CHANGES IN THE WORK	К.	herein. Issuance, payment and acceptance of payment are without prejudice to any rights of the Owner or	rejudice to any rights of the Owner or



Harris Ranch Haystack

Date 3/31/2021 Pay Estimate No. 4

Pay Estimate #4

Contractor - Central Paving	gu						Quantities			Payments		
Client Bid#	Description	Bid Quantity	Units	Unit Price	Total	Previous	Current	Total	Previous	Current	Current w/Reteation	ent ation
	Harris Ranch Haystack											
1	Mobilization	-	LS	52000 00	\$ 52,000.00	1,00	12.78	1.00	\$ 52,000,00	64	64	3
2	Demobilization	-	LS	4900.00	\$ 4,900,00				1	v	64	
3	Bonds	-	LS	17500.00	\$ 17,500,00	00.1		1,00	\$ 17,500.00	9	649	
4	Insurance	-	LS	1.00		•		(•		69	6-9	
	General Site Work											
5	Clear & Grub	5.55	AC	2300.00	\$ 12,765,00	5.00	0.55	5,55	\$ 11,500,00	\$ 1.265.00	64	1.201.75
9	Site Structural Fill	12687	CY	16 80	7	10,800,00	1,200,00	-	ľ	5	64	19 152 00
7	Project Dewatering	1	IS	3500.00	l	1.00		-	\$ 3,500,00	69	69	,
8	Tackifier	2	AC	2200.00	\$ 4,400.00	•		ì		69	69	0
6	Excavation to Subgrade	2127	CY	18.20	\$ 38,711,40	1.600.00	To the second se	1,600.00	\$ 29,120,00	(G	64	1
10	Traffic Control	1	LS	5400.00	\$ 5,400,00	0.40	0.40	0.80	\$ 2,160,00	\$ 2,160,00	64	2 052 00
11	Construction Surveying		LS	1000.00	\$ 1,000.00	•		-		L	69	,
	Roads											l
12	Road & Sidewalk Subgrade Compact & Prep	17339	SY	1.25	\$ 21,673.75	14,400,00	800.00	15,200 00	\$ 18,000,00	\$ 1,000.00	64	950 00
13	6" Minus Uncrushed Aggregate Subbase (Imported)	4064	ζζ	26.20	-	1.565.00	255.00	1		П	9	6.346.95
14	3/4" Minus Crushed Aggregate Base Coarse	1800	CY	50,00	\$ 90,000,00		1.157.00	-	(4)	١,	65	54 957 50
15	2-1/2" Asphalt Concrete	8902	SY	11.90	\$ 105,933.80			-	69	П	69	,
16	5" Asphalt Concrete (Two Lift Placement per ACHD)	969	SY	28.40	\$ 19,766.40	1	10000000000000000000000000000000000000	iq	S	69	643	1
17	Type "P" Asphalt Repair	286	SY	48.80	\$ 13,956.80	2		í	69	64	6-9	,
18	Saw Cut Existing Asphalt	1755	LF	1.25	\$ 2.193.75	100,00	1,655,00	1,755.00	\$ 125.00	\$ 2.068.75	64	1.965.31
19	Standard 6" Vertical Curb and Gutter and Base Course	5493	I.F	17.90	\$ 98,324.70	,	2,893.00	╌		ľ٩	84	49 195 47
20	6' Wide Concrete Sidewalk and Base Course	1897	SY	43.00	\$ 81,571,00	î	754.00	-	69	1	ιA	30,800.90
21	15' Wide Concrete Sidewalk and Base Course	3390	SY	42.00	\$ 142,380,00	٠	1,829.00	1.829.00	·9	\$ 76,818.00	69	72.977.10
22	Concrete Pedestrian Ramps	250	SY	133.00	\$ 33,250,00	•	10.00	10.00	•	\$ 1,330,00	69	1.263.50
23	Concrete Entrances	175	SY	49.90	\$ 8,732.50		46.00	46.00	69	l' '	69	2.180.63
	Water									ı		
24	fastall new 1" water service and meter setting	3	EA	1700,00	\$ 5,100,00	•		j.	69	54	64	ŀ
25	8" PVC Water Main	640	LF	35.40	\$ 22,656,00	640,00		640.00	\$ 22,656.00	69	69	1
26	6" PVC Water Main	105	LF	191.00	\$ 20,055.00	ì	105.00	105.00	69	\$ 20,055,00	69	19.052.25
22	6" x 2" Blowoff Assembly	1	EA	1500 00	\$ 1,500,00	(**)	1.00	1.00	69	\$ 1,500,00	\$	425.00
28	3/4" Water Service	1	EA	1.00	\$ 1.00	•			64	69	6/3	
29	1" Irrigation Service	3	EA	1700.00	\$ 5,100.00	3.00		3.00	\$ 5,100,00	9	6-9	,
30	2" Water Service with 1-2 Inch Setting	11	EA	3700.00	\$ 40,700,00	10.00	1.00	11.00	\$ 37,000,00	\$ 3,700,00	65	3,515,00
31	6" Fire Service With Valve & Blowoff	111	EA	4300,00	\$ 47,300.00	00'6	2.00	11,00	\$ 38,700,00	\$ 8,600.00	69	8,170,00
32	6" Fire hydrant Assembly	5	EA	7200,00	\$ 36,000,00	1.00	3.00	4.00	S 7 200 00	5	6	20 520 00

33	Lower 6" Main Below Existing Non-Potable Main	4	EA	4700.00	બ	18,800.00	4 00		4 00	\$ 18,800,00	69	69	
34	Hot Tap Connection to Existing 12" PVC Main	2	EA	1900.00	69	3,800,00	2.00	におけられ	2.00	3,800.00	69	69	
35	Hot Tap Connection to Existing 16" DI Main	12	EA	1900,00	69	22,800,00	10.00	2.00	-	19,000,00	\$ 3,800.00	+	3,610,00
36	Adjust Existing Water Valve to finished grade	1	LS.	1300.00	69	1.300.00	-		ě	-	69	S	
	Sewer												
37	Connect to New 8" Main to Existing Sewer Manhole		EA	7000.00	69	7,000,00	1.00		1,00	\$ 7.000 00	69	65	ľ
38	8" SDR35, PVC Sewer Main	327	LF	72.00	69	23,544.00	327.00		327.00	23,544.00	69	S	1
39	4" SDR35, PVC Sewer Service	102	I.F	74.10	69	7,558,20	102.00		+-	7,558,20	69	S	100
40	6" SDR35, PVC Sewer Service	515	LF	78.10	69	40,221.50	470.00	45.00	-	36,707,00	\$ 3,514.50	69	3.338.78
41	48" Standard Sanitary Sewer Manhole	1	EA	3800.00	69	3,800.00	1.00		-	3,800,00		69	
42	Connect New Service to Exist. Main (Insert-a-Tee Connection)	7	EA	1400.00	S	00'008'6	7.00		7.00	00.008.6	69	69	li
43	Connect New Service to Exist. Main (Cut Exist. Main & Install [Tee]	ω	EA	3100.00	ĿΑ	9,300,00	3,00		-	9,300.00	69	69	
44	Adjust Sewer Manhole to Grade	1	LS	3200,00	S	3,200,00	,	Design Transport	_	8	69	69	ľ
	Storm Drain												
45	12" PVC C-900 Storm Drain Pipe	825	LF	48,40	S	39,930.00		825.00	825.00	69	\$ 39,930,00	ev	37,933.50
46	18" PVC C-900 Storm Drain Pipe	512	LF	69.40	69	35,532,80		512.00	-		1	64	33,756,16
47	Connect to Existing 18" C-900 Storm Drain Pipe	2	EA	1300.00	69	2,600 00	0	2.00	-		1	69	2,470.00
48	Type I Catch Basin	19	EA	1300,00	64)	24,700.00	•	11.00	-		\$ 14,300.00	S	13,585.00
49	48" Standard Storm Drain Manhole	5	EA	3300,00	64)	16,500.00	٠	5.00	-			64	15.675.00
20	Wise Way Dual Pipe Storm Drain Manhole	7	EA	7400,00	S	14,800.00	•	2.00	-		П	69	14.060.00
51	Core Drill & Connect New Pipe to Existing Manhole/Inlet	7	EA	1800.00	69	12,600 00	•	7.00	-		П	69	11 970 00
52	Adjust Storm Drain Manhole to Grade	-	L.S.	2800.00	65	2,800.00	٠	OF THE PARTY OF	+-		69	6-9	'
	SWPPP				L								
53	Prepare and File SWPPP, ENOI, ACHD ESC Plan	1	LS	1800,00	69	1.800.00	1,00		1.00	\$ 1.800.00	69	69	27
54	Install all BMPs Prior to Construction	-	SI	9900.00	69	00 006'6	1.00	Control of the Contro	-	00'006'6		69	
55	Continuously Impect and Maintain BMP's	Ţ	ST	1700.00	64)	1,700.00	0.40	0.20	09.0	-	\$ 340,00	 	323.00
56	Final Site Inspeciton and File ENOT	-	TS	826.00	64	826 00	3		19	3		-	,
	Irrigation				L								
- 23	Tain & Fitti	35	LF	43.60	s	1,526 00		Control of the last	,		S	w	
58	4" Gate Valve	2	EA	736.00	69	1,472.00	9		9	64	5	69	
59	Connect to Existing System	1	TS	639.00	69	00.669	•		1		65	69	
60	Main Line Drain	_	EA	1100.00	69	1,100.00				69	69	50	ľ
61	Complete Fine Irrigation Design and Installation	1	LS	50700 00	ω	50,700,00	0.10	0.10	0.20	5.070.00	\$ 507000	64	4 816 50
62	Irrigation Steeving	1	LS	6400,00	64	6,400,00	0.70	0.30	-	4,480,00	l	69	1.824.00
	Landscaping								-				
63	led Topsoil	1130	CY	27.50	S	31.075.00	9		,	69	S	69	'
64	Lawn	33179	SF	0.51	69	16,921,29	ï			٠		69	'
65	Trees	98	EA	743.00	69	63.898.00	,	CHARLES AND AND AND ADDRESS OF THE PERSON NAMED IN COLUMN TWO IN COLUMN TO ADDRESS OF THE PERSON NAMED IN COLUMN TO ADD		•	69	69	3
99	Flowering plants in Planter Pots	-	Z.	7100.00	S	7,100.00	,				64	64	!
29	Trash Receptical	=	EA	1900.00	69	20,900,00	4.00		4,00	7,600,00		69	
89	Benches	11	EA	3300.00	69	36,300.00	5.00		5.00	-		69	
69	Planter Pots	22	ĀΉ	2100 00	6	00 000 31	00,	As the day of the last of the	+				l
				777777	9	40.700.00	(20 0	The state of the s	009	12 600 00	54	64	

	Street Signs and Lighting				_						L			Γ
71	Street Signs	-	LS	10400.00	69	10,400,00	9		,	S	64	,	643	,
72	Removal of Existing Type II & III Barricades	1	LS	1600.00	69	1,600.00		No. of the last of		69	64		54	,
73	Street Lights - 25 ft Pole with Class A Fixture	2	EA	5700.00	63	11,400.00	1 00		1.00	\$ 5,700.00	64	a	64	12.
74	Street Lights - 30 ft Pole with Class B Fixture	5	EA	7000.00	69	35,000.00	4.00	STATE OF THE PARTY	4.00		€ 4	×	69	
75	Street Light Electrical Conduit & Wire	_	LS	36000.00	69	36,000.00	•	0.50	0.50	69		\$ 18,000.00	\$ 17,100,00	100 00
76	Powder Coat Street Signs & Polen	I	ITS	2800.00	69	2.800.00	¥	TO SEE STATE OF	.,	S	69		64	,
77	Pavement Shiping and Symbols	I	LS	4700.00	69	4.700.00				69	69		69	Ι.
78	Obliterate Existing Pavement Stripe	400	LF	2.15	64	860.00		Company of the Company		69	69	X	643	: #
					69		9.			69	69		64	
					Tota	Total Contract				Previous Payment		Payment This Payment This Est (w/o Estimate (w/	Payment This Estimate (w/	nt This ite (w/
		h			\$ 2.0	2,069,994.29				(no retention) \$ 790,443.20		Retention) \$ 480,197.15	Retention) \$ 456,187,29	tion) 187,29

COLUMBIA BANK 877.272.3678 columbiabank.com

6333

34-827/1251 CHECK ARMOR

5/12/2021

...Y TO THE ORDER OF

877 W MAIN ST STE 501 BOISE, ID 83702-6018

Central Paving Co., Inc.

BARBER VALLEY DEVELOPMENT INC

**456,187.29

Central Paving Co., Inc.

PO Box 15010 Boise, Idaho 83715 **DOLLARS**

0

МЕМО

Haystack CID App #4

AUTHORIZED SIGNATURE

MECCE333M

BARBER VALLEY DEVELOPMENT INC

Central Paving Co., Inc. Date

4/2/2021

Type Reference

Bill

Original Amt. 456,187.29 Balance Due 456,187,29 5/12/2021

Discount

Payment 456,187.29

6333

Check Amount

456,187.29

Columbia/ICB- CHEC Haystack CID App #4

456,187.29

BARBER VALLEY DEVELOPMENT INC

Central Paving Co., Inc.

Date 4/2/2021 Type Reference Bill

Original Amt. 456,187.29 **Balance Due** 456,187.29

5/12/2021

Discount

Payment 456, 187.29

6333

Check Amount

456,187.29

AIA Document G732 2 09

Application and Certification for Payment, Construction Manager as Adviser Edition

						***	LA.			n'a.					
DISTRIBUTION TO: OWNER CONSTRUCTION MANAGER ARCHITECT	CONTRACTOR		ctor's knowledge, information and belief the d in accordance with the Contract Work for which previous Certificates of that current payment shown herein is now		12 12 13 15 15 15 15 15 15 15 15 15 15 15 15 15	STRICE.		PUBLIC	Cy Min No. 695	of the Work and the data composing this OF 10 to the best of their knowledge, quality of the Work is in ecconducte with refine AM-CHAIT CHRITHEID	239,487.40	oplied, with the amount certified.)	12.01. 2 -10.21		
APPLICATION NO: 5 000 APPLICATION DATE: 5 PERIOD TO: 4/30/21	CONTRACT DATE:	COMMITMENT NO:	The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates of Payment were issued and payments received from the Owner, and that current payment shown herein is now	due. CONTRACTOR: Central Paving Co., Inc.		State of # #da no County of: # Ada	Subscribed and swom to before me Referen Strickland	My Commission expires: 3-17-2023	RTIFICATE FOR PAYMENT	In accordance with the Contract Documents, based on evaluations of the Work and the data composite the property application, the Construction Manager(s) certify to the Owner that to the best of their knowledge. In the Contraction and belief the Work has progressed as indicated, the quality of the Work is the conduct with the Contract Documents and the Contractor is entitled to nayment of the AMCONT CERTIFIED.	AMOUNT CERTIFIED	(Attach explanation if amount certified differs from the amount applied. Initial all finites or this Application and on the Continuation Sheet that are changed to conform with the amount certified.)	CONSTRUÇÃON MANAGER BY. KWAZZINGUL	CONSTRUCTION MANAGER	
				2,069,994.29 - due.	2,069,994.29 - 1,522,732.35 - By	State of County o	Subs	76,136.62 Netw	1,207,108.33 - CEF	239,487.40 _ appli inform inform	AMC	(Atta Appl	NOO XB	DEDUCTIONS	Ť
	VIA CONSTRUCTION MANAGER(S):		with the Contract AIA Do)= 76,136.62	ì			523.398.56	547,261.94			ADDITIONS	
BARBER VALLEY DEVELOPMENT	FROM CONTRACTOR: CENTRAL PAVING CO., INC MANAGER(S):	Contact: Terry McEntee CONTRACT FOR: Harris Ranch - Haystack -19045	CONTRACTOR'S APPLICATION FOR PAYMENT Application is made for payment, as shown below, in connection with the Contract AIA Document G703, Continuation Sheet Equivalent, is attached.	1. ORIGINAL CONTRACT SUM	3 CONTRACT SUM TO DATE (Line 1+-2) 4. TOTAL COMPLETED AND STORED TO DATE (Column I on G703).	a. 5% % of Completed Work 1,522,732.35 . (Column F + G on G703	b. 5% % of Stored Material (Column H on G703	Total Retainage (Lines 5a + 5b, or Total in Column L on G703) 6. TOTAL EARNED LESS RETAINAGE	(LINES 4 MINUS LINES 10TAI) 7 LESS PREVIOUS CERTIFICATES FOR PAYMENT	(Line 6 from prior Certificate) 8 CURRENT PAYMENT DUE	 BALANCE TO FINISH, EXCLUDING RETAINAGE (Column K from G703) 	Check here for request to release retainage.		SUMMARY OF CHANGES IN THE WORK	



Date:

This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance, payment and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.

TOTAL

NET CHANGES IN THE WORK

Total changes approved in previous months by Owner Total approved this month including Construction Change Directives

Harris Ranch Haystack

Date 5/5/2021

Pay Estimate No.

Pay Estimate #5

Contractor - Central Paving

6,916.00 10,964 52 \$ 13,258.96 4.550.88 32,757 90 19,710,60 w/Retention Current \$ 41,851.1 7,280.00 25,676.00 16,550.00 19,766.40 13.956.80 11.541.60 1,875.00 34,482,00 \$ 4,790.40 44,053.80 \$ 20,748.00 5,100,00 Current Payments 12,765.00 S 201,600.00 S (v) 47,684,00 57,850.00 17,500,00 5,100,00 40,700.00 47,300 00 29.120.00 32.422.00 1.330,00 22,656.00 52,000 00 3.500 00 4,320.00 51,784.70 76,818,00 2.295.40 20,055,00 1,500.00 28,800.00 18,800 00 19,000,00 2.193 75 Previous 5.55 \$ 12.687.00 \$ 1.00 | \$ 1,488.00 \$ 105.00 \$ 1.00 | S 1.00 2.000.00 1,755.00 754 00 3.00 3.702 00 00 969 286 00 2,650 00 166,00 142.00 640.00 4.00 4 00 1.00 16,700.00 2,800 00 3 00 Tota! Quantities 1.500.00 980.00 331.00 3.702.00 696.00 Current 687.00 400.00 821.00 286.00 156,00 96.00 3.00 08.0 11.00 1 00 1.00 157.00 754.00 1.829.00 10.00 46.00 640,00 5.55 12,000 00 1.00 15,200 00 1.00 3.00 11.00 4,00 1.820.00 755.00 2,893.00 Previous 17,500.00 38.711.40 5,400.00 1,000.00 90,000.00 105,933.80 19,766.40 213,141.60 142,380.00 33,250.00 22,656.00 20,055.00 40,700,00 47,300,00 36,000,00 52,000,00 00. 12,765.00 3,500.00 98.324.70 81,571 00 1 00 4,900.00 4,400.00 106,476.80 13.956.80 2.193.75 8,732,50 5,100,00 1,500.00 5,100,00 18.800.00 Total 1,00 00 4700.00 Units Unit Price 52000.00 4900.00 2300 00 18 20 5400,00 1000,00 4300.00 7200.00 3500.00 2200.00 1500.00 700.00 1700.00 3700 00 16.80 26.20 28.40 48 80 133,00 191.00 49.90 11 90 43 00 1.00 2 2 2 2 LS CY AC EA AC S. CYCYSY Ċζ SΥ S SY 37 SΥ Quantity 17339 5493 1897 3390 250 175 Bid 12687 4064 5.55 1800 8902 696 286 1755 640 105 Standard 6" Vertical Curb and Gutter and Base Course 5" Asphalt Concrete (Two Lift Placement per ACHD) Type "P" Asphalt Repair 6" Minus Uncrushed Aggregate Subbase (Imported) 6" Fire hydrant Assembly Lower 6"Main Below Existing Non-Potable Main Harris Ranch Haystack install new 1" water service and meter setting General Site Work Road & Sidewalk Subgrade Compact & Prep 15' Wide Concrete Sidewalk and Base Course 6' Wide Concrete Sidewalk and Base Course 3/4" Minus Crushed Aggregate Buse Coarse Description !" Water Service with 1-2 Inch Setting Water Fire Service With Valve & Blowoff Roads Concrete Pedestrian Ramps Saw Cut Existing Asphalt x 2" Blowoff Assembly Excevation to Subgrade onstruction Surveying 2-1/2" Asphalt Concrete " PVC Water Main " PVC Water Main Irrigation Service Site Structural Fill Project Dewatering Concrete Entrances 3/4" Water Service FraMc Control Demobilization Clear & Grub nsurance Tackifier Bonds Client Bid # 임되 12 11 12 14 13 3 2 2 2 2 2

34	root lap Connection to Existing 12. I've viain	-1	Y.	00.0061		3,800,00	2.00		2 00			į	S	4
35	Hot Lap Connection to Existing 16" DI Main	12	EA	1900.00	S 22	22.800.00	12.00		12.00	\$ 22.8	22,800.00 \$	•	S	١.
36	Adjust Existing Water Valve to Inished grade	-	TS	1300 00		1.300.00		0.75	0.75	c/s	S	975.00	8	926 25
	Sewer												l	
37	Connect to New 8" Main to Existing Sewer Manhale	-	EA	7000.00		7.000.00	1.00		1.00		7,000.00	,	0	,
38	8" SDR35, PVC Sewer Main	327	LF.	72.00	5	23.544 00	327 00		327 00	\$ 23.5	-	i	0	1
39	4" SDR35, PVC Sewer Service	102	LF	74.10		7.558.20	102.00		102.00		7.558.20 \$		9	•
40	6" SDR35, PVC Sewer Service	515	LF	78 10		40,221.50	515,00		515 00			•	S	
41	48" Standard Sanilary Sewer Manhole	-	EA	3800 00		3,800,00	1.00		1 00		3.800.008		S	
42	Connect New Service to Exist, Main (Insert-a-Tee Connection)	7	EA	1400.00	S	00.008.6	7.00		7 00	8.6	\$ 00 008.6	3*	S	ē
43	Connect New Service to Exist. Main (Cut Exist. Main & Install	23	EA	3100 00		00 002 6	3 00		3 00		-			
44	Adjust Sewer Manhole to Grade	_	SI	3200.00	67	3 200 00		22.0	0.50	2	9 6	2 400 000	200	2 280 00
	Storm Drain									,		2000		3
45	12" PVC C-900 Storm Drain Pipe	825	LF	48 40	\$ 39	39,930,00	825.00		825.00	\$ 39.9	39 930 00 8	,	6	,
46	18" PVC C-900 Storm Drain Pipe	512	LF	69.40		5.532.80	512.00		512.00		1		69	٠
47	Connect to Existing 18" C-900 Storm Drain Pipe	2	EA	1300.00	S	2,600.00	2.00		2 00		-		S	9
48	Type I Catch Basin	61	EA	1300 00		24,700.00	11.00		11.00	П	1		6/3	ì
49	48" Stundard Storm Drain Manhole	5	EA	3300.00		6,500,00	5.00		5.00		-	1387	S	
20	Wisc Way Dual Pipe Storm Drain Manhole	7	EA	7400 00		14,800,00	2.00		2.00		-		S	Ū
51	Core Drill & Connect New Pipe to Existing Manhole/Inlet	7	EA	1800 00		12,600,00	7.00		7.00	П	+		S	ŀ
52	Adjust Storm Drain Manhole to Grade	-	LS	2800 00		2,800 00	é	0.75	0.75	S	S	2,100.00	Г	1.995 00
	SWPPP													
53	Prepare and File SWPPP, ENOI, ACHD ESC Plan	-	LS	1800.00		00,008.1	1.00		1.00	3 1.80	1.800 00 S		S	ŀ
54	Install all BMPs Prior to Construction	1	LS	00.0066	6 S	00,000,0	1,00		1,00		-	ľ	S	į
55	Continuously Inspect and Maintain BMP's	1	TS	1700.00		1,700,00	09.0	0.20	08'0		1.020.00 S	340,00		323 00
56	Final Site Inspeciton and File ENOT	-	LS	826.00		826.00	•				-			
	Irrigation													ľ
57	fain & Fitt	35	Ę,	43 60	S	1,526,00	j)	35.00	35.00	5/3	69	1.526 00	1	1 449 70
58	4" Gate Valve	2	EA	736.00		1,472,00	•	2.00	2,00	S	1	1.472.00	1	1 398 40
59	Counect to Existing System	1	LS	639.00	6-3	639.00	•	1,00	1.00	S	6-3	639.00		60705
60	Main Line Drain		EA	1100.00	S	1,100,00	i	1.00	1.00	S	S	1,100,00	ľ	045.00
61	Complete Fine Irrigation Design and Installation	-	LS	50700.00	5	50,700.00	0.20		0.20		0.140.00 S		S	Ø
29	Trigation Sleeving	1	ST	6400.00	S 6	6,400.00	1.00		1.00	S 6,40	-		S	ŀ
	Landscaping										-			
63	Amended Topsoil	1130	CY	27.50		31,075.00	ř		÷	S	:		s	2
64	Lown	33179	SF	0.51		16,921,29	*		ė	S	S	•	S	
92	Trees	98	EA	743.00		63,898.00	á		·	S	62	×	S	1
99	Flowering plants in Planter Pots	1	L.S	7100.00		7,100,00	ŀ		i	69	cs I	×	S	,
29	Trash Reception	- 11	EA	1900.00	\$ 20	20,900,00	4.00		4.00		7,600 00 \$	34	8	100
89	Benches	- 11	EA	3300 00		5,300,00	5.00		-	-	-		S	,
69	Planter Pots	22	EA	2100 00	\$ 46	46,200.00	6.00		-	\$ 12,600,00	0.00		es es	
70	Tree Grafes	22	EA	5100.00		112,200.00	18.00		18,00		-	34	(c)	э
	Street Signs and Lighting									Н	-			
ř	Street Signs	1	rs	10400.00	\$ 10	10,400,00		0.50	0.50	69	69	5 200 00	5	4.940.00

72	Removal of Existing Type II & III Barricades	-	rs	1600.00	3 1.6	00.009.1		0.50	0.50	69	,	800.00	S	260 00
73	Street Lights - 25 ft Pole with Class A Fixture	2	EA	5700.00	\$ 11,4	1,400.00	1.00	1.00	2.00	69	.700.00	5,700.00	8	5,415 00
74	Street Lights - 30 ft Pole with Class B Fixture	5	EA	7000.00	\$ 35.0	00.00	4.00		4.00	\$ 28,0	8,000.00	9760	69	
75	Street Light Electrical Conduit & Wire	1	ST	36000.00	\$ 36.0	00.000.9	0.50	0.50	1.00	\$ 18,0	8,000.00	18,000.00	69	17,100 00
9/	Powder Coat Street Signs & Poles	1	LS	2800.00	\$ 2.8	2,800.00	£	0.50	0.50	69	3	1.400.00	69	1,330,00
11	Pavement Stiping and Symbols	1	LS	4700.00	\$ 4.7	00.007,	,	0.80	08'0	69	,	3,760.00	69	3,572.00
78	Obliterate Existing Pavement Stripe	400	LF	2.15	\$	860.00		100.00	400.00	6-9		860.00	649	817.00
					s	10	,			64		ž	64	32

Total Contract

\$ 2,069,994.29

| Previous | Payment This Payment This Payment This Payment I Est (w/o Estimate (w/ (no retention) Retention) | Retention | Re

	a w Rv	COLUMBIA BANK 877.272.3678 columbiabank.com	6/8/2021	6386 34-827/1251 1181 05-HESK ARMOR
lundred Eighty-Seven a	nd 40/100*****	******	\$	
	ian Si v Si si			DOLLARS
	:нна <u>- пооми ран</u>	e desirohtua	IGNATURE	M
Original Amt. 239,487.40	Balance Due 239,487.40	6/8/2021 Discount Check Amount	239,487	7.40
aystack 19045	8		239,48	37.40
Original Amt. 239,487.40	Balance Due 239,487.40	6/8/2021 Discount Check Amount	239,487	.40
	Original Amt. 239,487.40 aystack 19045 Original Amt.	Original Amt. Balance Due 239,487.40 Original Amt. Balance Due 239,487.40 Original Amt. Balance Due	AUTHORIZED S Original Amt. Balance Due 239,487.40 Check Amount Original Amt. Balance Due 239,487.40 Check Amount Original Amt. Balance Due 239,487.40 Check Amount	#239,487 Original Amt. Balance Due Discount Paym 239,487.40 Check Amount 239,487 Original Amt. Balance Due Discount Paym 239,487 Original Amt. Balance Due Discount Paym 239,487 Original Amt. Balance Due Discount Paym 239,487

AIA Document G732 2 09
Application and Certification for Payment, Construction Manager as Adviser Edition

		וו		DISTRIBUTION TO
BARBER VALLEY DEVELOPMENT			APPLICATION DATE: 6 000	OWNER OWNER
			PERIOD TO: 5/27/2021	CONSTRUCTION MANAGER
FROM VIA CONSTRU CONTRACTOR: CENTRAL PAVING CO., INC MANAGER(S):	CONSTRUCTION VAGER(S):		CONTRACT DATE:	CONTRACTOR
Contact: Terry McEnice			COMMITMENT NO:	
CELion	with the Contract AIA Docum	Aur. 6703,	The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates of	tor's knowledge, information and belief the in accordance with the Contract Work for which previous Certificates of
ORIGINAL CONTRACT SUM		Payme Payme 69-954.29 due.	Payment were issued and payments received from the Owner, and that current payment shown herein is now due.	that current payment shown herein is now
		1	CONTRACTOR: Central Paving Co. inc.	
4 TOTAL COMPLETED AND STORED TO DATE (Column I on G703)	504. 10	1,744,865.00 -		(§ 10 18 11
5 RETAINAGE:		By:	24 / Pack	Date 61/10/12/021
a. 5% % of Completed Work 1,744,865.00 = (Column F + G on G703	87,243.25	State o Count	State of: TISHO County of: NDA	WINENSEN. BUTT
ıterial		Subsci	/orn to before me	36.
(Column H on G703)= Total Retainage Clines 5a + 5h or Total in Column I on G7037		- this 87,243.25 - Notan	this 5 to day of CLUS.	ONE
6. TOTAL EARNED LESS RETAINAGE		1,657,621.75 - My Cc	1/2 Miles	PUBLIC
(Lines 4 minus Line 5 Total) 7 TESS PREVIOUS CERTIFICATES FOR DAYMENT	1 42	1 446 595 73 - CER	CERTIFICATE FOR PAYMENT	an No. 6
		11	To the first of the Contract o	O SO EL
	_	211,026.02 _ applic	an accordance with the Contract Documents, based on evaluations of the working application, the Construction Manager(s) certify to the Owner that to the best of University.	
9 BALANCE TO FINISH, INCLUDING RETAINAGE (Line 3 minus Line 6)	325,604.29	inform the Co	information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.	uality of the Work is in accordance with of the AMOUNT CERTIFIED.
 BALANCE TO FINISH, EXCLUDING RETAINAGE (Column K from G703) 	238,361.04	AMOI	AMOUNT CERTIFIED	(211,026.02
Check here for request to release retainage.		(Attac Applid	(Attach explanation if amount certified differs from the amount applied. Initial all figures on this Application and on the Continuation Sheet that are changed to conform with the amount certified.)	plied. Initial all figures on this afform with the amount certified.)
		CONS	CONSTRUCTION MAKADER	
		By.	Money Strandly	Date: 6/22/2/
SUMMARY OF CHANGES IN THE WORK	ADDITIONS D	DEDUCTIONS	CONSTRUCTION MANAGER	,
Total changes approved in previous months by Owner				
Total approved this month including Construction Change Directives		, p		Dates
				7012



By:
This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance, payment and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.

TOTAL

NET CHANGES IN THE WORK

Harris Ranch Haystack

Date 5/27/2021 Pay Estimate No. 6

Pay Estimate #6

Contrac	Contractor - Central Paving							Quantities			Pay	Payments		
	Client Bid#	Description	Bid Quantity	Units	Unit Price	Total	Previous	Current	Total	Previous	O	Current	Current w/Retention	ent afion
		Harris Ranch Haystack												
	1	Mobilization	-	rs	52000.00	\$ 52,000,00	1.00		1.00	\$ 52,000 00	S 00	,	S	ï
	2	Demobilization	-	LS	4900,00	\$ 4,900,00				L			S	
	3	Bonds	-	LS	17500.00	\$ 17.500.00	1.00		1 00 1	S 17,500.00	00	9	S	94
	4	Insurance	7	LS	1.00	\$ 1.00	ō			S	+	9.90	S	
		General Site Work									_			
		Clear & Grub	5.55	AC	2300,00	\$ 12,765.00	5.55		5.55	\$ 12,765.00	00	ì	S	
	9	Site Structural Fill	12687	Ç	16.80	\$ 213,141.60	12,687,00		12,687.00	\$ 213,141.60	-		S	
	7	Project Dewatering	-	LS	3500.00		1.00		-	\$ 3,500,00	-		S	
	8	Tackifier	2	AC	2200.00	S 4,400.00	_		٠		-	i	69	
	6	Excavation to Subgrade	2127	CY	18.20	\$ 38,711.40	2,000,00	127.00	2,127.00	\$ 36,400,00	00 8	2,311,40		2,19583
	10	TiaMic Control	1	LS	5400,00	\$ 5,400.00	0.80	0.20	1.00	\$ 4,320,00	 	1.080.00		1,026.00
-01	11	Construction Surveying	1	LS	1000.00	\$ 1,000.00	ı				 		S	v
		Roads												
	12	Road & Sidewalk Subgrade Compact & Prep	17339	SY	1 25	\$ 21,673.75	16.700.00	639.00	17,339,00	5 20,875,00	\$ 00	798.75	S 75	758.81
	13	6" Minus Uncrushed Aggregate Subbase (Imported)	4064	CY	26.20	\$ 106,476.80	2,800,00	1,264.00	4,064 00	S 73,360 00	63	33,116 80		31,460.96
	14	3/4" Minus Crushed Aggregate Base Course	1800	CY	50.00	00'000'06 \$	1,488.00	232.00	1,720.00 S		S	11,600.00	\$ 11,02	11,020.00
	15	2-1/2" Asphalt Concrete	8902	SY	11.90	\$ 105,933.80	3,702,00		3,702 00	S 44.053.80	80 8	•	69	1
	16	5" Asphalt Concrete (Two Lift Placement per ACHD)	969	SY	28,40	\$ 19,766.40	00'969		00'969	\$ 19,766.40	40 8		69	
	17	Type "P" Asphalt Repair	286	SY	48.80	\$ 13,956.80			286 00	\$ 13,956.80	S 08	ı	SS	
	18	Saw Cut Existing Asphalt	1755	LF	1.25	\$ 2.193.75	1,755.00	E 7 11 1	1,755.00	\$ 2,193.75	75 S	•	69	
	19	Standard 6" Vertical Curb and Gutter and Base Course	5493	LF	17.90	\$ 98.324.70	2,893.00	2,420.00	5.313.00	\$ 51,784.70	S	43,318,00	\$ 41.15	41,152,10
	20	6' Wide Concrete Sidewalk and Base Course	1897	SY	43 00	S 81,571,00	754,00	1.023.00	1,777 00	\$ 32,422.00	S	43,989.00	S 41.78	41,789.55
	21	15' Wide Concrete Sidewalk and Base Course	3390	SY	42.00	S 142,380,00	2,650.00	740.00	3,390.00	\$ 111,300.00	6/3	31,080,00	\$ 29,52	29,526 00
	22	Concrete Pedestrian Ramps	250	SY	133.00	\$ 33,250.00		84.00	250.00	\$ 22,078,00	85	1,172,00	\$ 10,61	10,613,40
	23	Concrete Entrances	175	SY	49.90	\$ 8,732.50	142.00	33.00	175.00	\$ 7,085.80	\$ 08	1,646.70	\$ 1.56	1.564.37
		Water												
	24	Install new I" water service and meter setting	3	EA	1700.00	\$ 5,100.00	3.00	2 30 3	3.00	S 5,100,00	S 00		S	9
	25	8" PVC Water Maia	640	LF	35.40	\$ 22,656,00	640.00		640.00	\$ 22,656.00	_		69	ē
	26	6" PVC Water Main	105	LF	191.00	\$ 20,055.00	105.00		105.00	\$ 20,055.00	30 S	٠	S	
	7.7	6" x 2" Blowoff Assembly	1	EA	1500.00	\$ 1,500.00	1.00		1.00	\$ 1,500,00	-	•	S	
	28	3/4" Water Service		EA.	1.00	S 1 00	ET.			67	-		S	
	29	1" Irrigation Service	3	EA	1700.00	\$ 5.100.00	3.00		3.00	\$ 5.100.00	S 00	•	s	ı
	30	2" Water Service with 1-2 Inch Setting	1	EA	3700.00	\$ 40,700.00	11.00		11.00	\$ 40,700.00	S 00	•	S	3
	31	6" Fire Service With Valve & Blowoff	11	EA	4300.00	\$ 47,300.00	11.00		11.00	\$ 47,300,00	_		16/2	
	32	6" Fire hydrant Assembly	2	EA	7200,00	\$ 36,000,00	4.00		4.00	\$ 28,800 00	S 00	•	S	
	33	Lower 6"Main Below Existing Non-Potable Main	4	EA	4700.00	S 18.800.00	4.00		4.00	\$ 18,800.00	_		S	

35 34	From the Connection to Existing 16 and Try Organian Host Tay Connection to Existing 16 and Mainte Advisor Eviden Where Volve in England sealed	7 7 7	EA E	1900,00	CI			2 00		S 3	S 3
8	Adjust Existing Weter Valve to thished grade	-	LS	1300 00	\$ 1,300,00	0.75		0.75	69		975.00
37	Connect to New 8" Main to Existing Sewer Manhole	-	EA	7000.00	\$ 7,000,00	1 00		1 00	6	7 000 00	2 000 000 2
38	8" SDR35, PVC Sewer Main	327	LF	72.00	\$ 23,544,00	327.00		-	S	23.544.00	9 69
39	4" SDR35, PVC Sewer Service	102	LF	74 10	\$ 7,558.20	102.00		-	S	7,558,20	
40	6" SDR35, PVC Sewer Service	515	LF	78.10	\$ 40.221.50	515.00		-		40,221,50	S
41	48" Standard Sanitary Sewer Manhole	1	EA	3800.00	S 3,800,00	1.00		-	S	3.800.00	S
42	Connect New Service to Exist. Main (Insert-a-Tee Connection)	7	EA	1400 00	00'008'6 S	7.00		-	S	9.800.00	(A
43	Connect New Service to Exist. Main (Cut Exist. Main & Install	ы	EA	3100 00		3.00		-	6	0 300 00	+-
44	Adjust Sewer Manhole to Grade	-	LS	3200 00	\$ 3,200,00	0.75		-	0	7 400 00	0 8
	Storm Drain							-			,
45	12" PVC C-900 Storm Drain Pipe	825	댠	48.40	\$ 39,930,00	825.00		825.00	\$ 39	9.930.00	39.930.00
46	18" PVC C-900 Storm Drain Pipc	512	LF	69,40	\$ 35,532.80	512.00		-		532.80	S
47	Connect to Existing 18" C-906 Storm Drain Pipe	2	EA	1300,00	\$ 2,600.00	2.00		+-		.600.00	S
48	Type I Catch Basin	19	EA	1300.00		11.00	8.00	19.00		300,00	-
49	48" Standard Starm Drain Manhole	'n	EA	3300 00		5.00		5 00		500 00	S
20	Wise Way Dual Pipe Storm Druin Munhole	2	EA	7400.00	S 14,800.00	2.00		-	†1 S	800 00	14,800 00 \$
12	Core Drill & Connect New Pipe to Existing Manhole/Inlet	7	EA	1800.00	S 12,600,00	7.00		-		900 009	S
25	Adjust Storm Drain Manhale to Grade	_	rs	2800,00		0.75		+		100 00	S
	SWPPP							-			
53	Prepare and File SWPPP, ENOI, ACHO ESC Plan	-	LS	1800.00		1.00		1.00		300 00	1.800 00 \$
54	Install all BMPs Prior to Construction	_	LS	9900.00	8 9.900_00	1,00	3			9.900.00	S
55	Continuously Inspect and Maintain BMP's	1	LS	1700,00	\$ 1,700,00	08'0	0.20	100 S		00 09	1.360 00 S 340 00
99	Final Site Inspeciton and File ENOT	_	LS	826.00	\$ 826.00	No.				ı	S
	Irrigation										
57	4" freigation Main & Fittings	35	LF	43.60	S 1.526.00	35.00		35.00	S	26.00	1.526.00 \$
28	4" Gate Valve	2	EA	736.00	\$ 1,472,00	2.00				1,472.00	-
29	Connect to Existing System	1	LS	639 00	\$ 639.00	1.00		1.00		39 00	-
09	Main Line Drain	-	EA	1100.00	S 1,100.00	1,00	XIII I	-	-	1,100,00	-
61	Complete Fine Irrigation Design and Installation	-	LS	50700.00	\$ 50,700,00	0,20	0.40	-	\$ 10.	0.140.00	-
29	Irrigation Steeving	-	LS	6400,00	\$ 6,400.00	1.00		-		6,400.00	63
	Landscaping							-			-
63	Amended Topsoil	1130	CY	27.50	П	,				a	T
64	Lawn	33179	SF	0.51	S 16.921.29	12					-
92	Trees	98	EA	743.00	\$ 63,898,00				S	,	S
99	Flowering plants in Planter Pots		LS.	7100 00				1		4	S
29	Trush Receptical	=	EA	1900.00	\$ 20,900,00	4,00		4.00		7.600 00	
89	Benches	Ξ	EA	3300.00	1	5.00		+-		16 500 00	y.
69	Planter Pots	22	EA	2100 00		90.00	5.00	+-	П	200.00	S 10.500
2	Tree Grutes	22	EA	5100.00	\$ 112,200,00	18.00		₩	S 91.8	00.00	91.800.00
	Street Signs and Lighting							-	ı		1500
71	Street Signs	-	0 -	10400.00	00 000 01	01.0				I	

72	Removal of Existing Type II & III Barricades	1	LS	1600.00	69	1.600.00	0.50		0.50	\$ 800.008	\$ 0		69	•
73	Street Lights - 25 ft Pole with Class A Fixture	2	Æ	\$700.00 \$	69	11,400.00	2.00		2.00 \$	\$ 11,400.00 \$	69		69	
74	Street Lights - 30 ft Pole with Class B Fixture	S	ā	7000.00	69	35,000.00	4.00		4.00 \$	\$ 28,000.00	\$ 0		64)	
75	Street Light Electrical Conduit & Wire	1	rs	36000.00 \$	69	36,000.00	1.00		1.00	36,000,00 \$	69		69	•
92	Powder Coat Street Signs & Poles	-	LS	2800.00	69	2,800.00	0.50		\$ 050	\$ 1,400.00	\$ 0	j•	69	•
77	Pavement Stiping and Symbols	-	LS	4700.00 \$	64)	4,700.00	0.80	*:	\$ 08.0	\$ 3,760.00 \$	89		69	*
78	Obliterate Existing Pavement Stripe	400	LF	2.15	69	860.00	400.00		400.00	\$ 860.00	\$ 0		69	
	Change Order #1		Į		82	2000年	•		,	· ·	S		S	•
79	Install Additional Stop Bars	1 1	ST	\$ 500.000 \$	69	500.00	•	1,00.	1.00	•	643	500.00	s	175.0(
					69	¥.	•)			59	69		69	*
										Previous	Pa	Payment This		ent Th
					Tot	Total Contract				Payment		Est (w/o	Estim	Estimate (w/
					ri	5 2,070,494,29				(no retention) S 1.522.732.35	- 12 - 12 - 13 - 13 - 13 - 13 - 13 - 13 - 13 - 13	Retention) S 222, [32,65	60	Retention) 211,026.0

6422 COLUMBIA BANK 877.272.3678 columbiabank.com 34-827/1 BARBER VALLEY DEVELOPMENT INC 877 W MAIN ST STE 501 CHECK ARMO BOISE, ID 83702-6018 7/13/2021 Central Paving Co., Inc. PAY TO THE ORDER OF_ **211,026.02 DOLLARS Central Paving Co., Inc. PO Box 15010 Boise, Idaho 83715 MEMO Haystack SW 12 & 13 19045 CID App #6 AUTHORIZED SIGNATURE (OOG 4 2 2 (**BARBER VALLEY DEVELOPMENT INC** 6422 Central Paving Co., Inc. 7/13/2021 Date Type Reference Original Amt. Balance Due Discount Payment 7/1/2021 211,026.02 211,026.02 211,026.02 **Check Amount** 211,026.02 Columbia/ICB- CHEC Haystack SW 12 & 13 19045 CID App #6 211,026.02 **BARBER VALLEY DEVELOPMENT INC** 6422 Central Paving Co., Inc. 7/13/2021 Date Type Reference Original Amt. Balance Due Discount Payment 7/1/2021 Bill 211,026.02 211,026.02 211,026.02 **Check Amount** 211,026.02 Columbia/ICB- CHEC Haystack SW 12 & 13 19045 CID App #6 211,026.02

CHANGE ORDER

PROJECT: Haystack Subdivision No. 1 CID P	roject
DATE OF ISSUANCE – July 20, 2021	The second secon
OWNER: Barber Valley Development	
OWNER's Contract No.: 19045: CID Eligible It	ems
CONTRACTOR – Central Paving	
You are directed to make the following characteristics: See support letter from L2 Construction all pipe installation on the project.	inges in the Contract Documents. ruction, subcontractor to Central Paving, in (
piping system for the development. In all ca to L2 and Central Paving in order to secure been reviewed and RiveRidge is recommer increased costs as listed.	a properly constructed project. All elemending approval of this Change Order No. 4
Attachments: See attached Items and cost	CHANGE IN CONTRACT TIMES
CHANGE IN CONTRACT PRICE	CHANGE IN CONTRACT TIMES
CHANGE IN CONTRACT PRICE Original Contract Price	Original Contract Times
	Original Contract Times Substantial Completion: N/A Ready for final payment:
Original Contract Price \$2,069,994,29	Original Contract Times Substantial Completion: N/A Ready for final payment: days or dates
Original Contract Price	Original Contract Times Substantial Completion: N/A Ready for final payment: days or dates
Original Contract Price \$	Original Contract Times Substantial Completion:N/A Ready for final payment; days or dates Net changes from previous change Orders NoNo.
Original Contract Price \$	Original Contract Times Substantial Completion:N/A Ready for final payment; days or dates Net changes from previous change Orders NoNo. No. N/A days Contract Times prior to this Change Order
Original Contract Price \$	Original Contract Times Substantial Completion:N/A Ready for final payment; days or dates Net changes from previous change Orders No No. N/A days Contract Times prior to this Change Order Substantial Completion:
Original Contract Price \$	Original Contract Times Substantial Completion:N/A Ready for final payment:
Original Contract Price \$	Original Contract Times Substantial Completion:
Original Contract Price \$	Original Contract Times Substantial Completion:N/A Ready for final payment:
Original Contract Price \$	Original Contract Times Substantial Completion:
Original Contract Price \$	Original Contract Times Substantial Completion:
Original Contract Price \$	Original Contract Times Substantial Completion:N/A Ready for final payment:



2817 Brandt Ave Nampa, ID 83687

ldaho State Contractor's License #RCE-38764 Idaho Public Works License #020467 - A - 4

Owner:

Project Name: Haystack 1

Address:

Submitted to: Kyle Terrell - CPI

City,State,Zip:

RFC 01

Heading	Item #	Line Item	Qty	UOM		Unit Price	Total
Remove & Replace Existing 18" SD Pipe	(1)		1	DY	@	\$ 4,918.38	\$ 4,918.38
Remove & Replace Existing 6" PIRR Crossing	(2)		1	EA	@	\$ 2,397.72	\$ 2,397.72
Imported Trench Backfill	(3)		3247	TN	@	\$ 11.03	\$ 35,818.49
Adjustment of Existing Manhole - Additional Stacking	(4)		4	EA	@	\$ 1,660.72	\$ 6,642.88
Water Main Excessive Depth	(5)		8	EA	@	\$ 2,138.36	\$ 17,106.88
Additional PIRR - 4" Main/8" Sleeves/2" Sleeves - Per Plan Mods	(6)		1	LS	@	\$ 7,510.00	\$ 7,510.00
Added 2" PIRR Service	(7)		2	EA	@	\$ 3,230.00	\$ 6,460.00
Relocate Previously Installed 2" Water Service - 2 EA & 6" Fire Service - 1 EA	(8)		3	EA	@	\$ 1,750.00	\$ 5,250.00
Credit to RFC for Contract Items	(9)		1	LS	@	\$ (13,340.00)	\$ (13,340.00

Total \$ 72,764.35

L ² Excavation LLC Authorized Signature		7 <i>1</i> 9/2021
, on the digitality	Eric Bird	Date
	Vice President	
Acceptance of Proposal - The above prices, specifications and conditions are satisfac	ctory and are hereby coepled. Life complete Los authorizations	ed to do the work as specified. Payment will be
made as outlined above.	1 1 1 1 1 1	9 ()
Authorized Signature	Market Ward	1.0.01



To: Central Paving, Inc.

April 28, 2021

Subject: Harris Ranch - Haystack Sub No. 1

Re: RFC 01

Kyle – The following is a narrative document to support our RFC request.

Item 1 - Old Hickory Sewer - Remove & Replace Existing Storm Drain

The bid set of drawings indicates 6' of separation between the existing 18" SD and the new 8" Sewer. At Sta. 2+00 the existing SD line was within 3' of the new sewer main and continued to migrate further into the sewer alignment and was within 2' of the new sewer at Sta. 4+27 making the new sewer unconstructable as drawn. L2 had to remove the SD to install the new sewer.

Prior to re-installation of the afore mentioned SD, L2 requested survey for the previously installed SD line that was removed as part of the sewer installation. L2 began re-installing the pipe at the south end of the existing system (low point) with the survey provided and were unable to connect to the existing structure with the survey provided as the system was not installed per the plans or the survey when it was previously installed. L2 had to remove the entire system again and relay the SD at revised grades to make the system work.

We are requesting compensation for the L&E cost (1 DY) to remove and rebuild this system and the cost of the 160' of 18" Pipe we purchased to replace pipe that was damaged during the removal and replacement of this system.

Item 2 - Old Hickory Sewer - Remove & Replace Existing PIRR

The existing PIRR was removed and replaced to facilitate the shoring needed to safely install the 8" sewer.

We are requesting compensation for the L&E cost (0.50 DY) to remove and rebuild this system and the cost of the material we purchased to replace the crossing. The crossing had to be cut out and could not be removed without removing existing exterior site concrete surfaces which would have increased the cost of the work.

Item 3 - Imported Trench Backfill - Project Wide

Upon completing our installations on Old Hickory and during the transition phase to subgrade prep, the native material was deemed unstable due to it being oversaturated due to the unanticipated high groundwater conditions. Upon proceeding with excavations throughout the project, including but not limited to Old Hickory, organics and other deleterious materials were exposed during our excavations. The oversaturated native material also created issues at subgrade with "soft soils" that while they met the required densities would not support the roadways being built over the trenches. Imported Trench Backfill was supplied by CPI and placed by L2 as directed to mitigate the above issues. The breakdown of unit price for the material is as follows:

Pit Run Material - \$5.00 TN
Delivery - \$4.50 TN
Disposal of Displaced Material \$1.00 TN

Item 4 – Adjust Existing Manholes – Breakdown:

L&E - \$912.83 EA Material - LS - \$2,991.56

The existing manholes (3 EA Wise Way/1 EA Trailwood) all required transition sections due to the lip configuration. The existing manholes are the "old style" that is no longer built in this valley.

Item 5 - Water Additional Cost Due to Unforeseen/Unanticipated/Unknown Conditions - Excessive Depth

The existing water main had depths of 10' to 12' in 8 locations. Typical bury depth is 5'. Plans and specs did not indicate these conditions where we made connections for the following items:

Fire Service – 2 EA

2" Water Service – 2 EA

2" IRR Service – 1 EA – This service was 1 of 2 added IRR services which are part of this CO below.

1" Water Service – 1 EA

1" IRR Service – 2 EA

L&E - \$14,390.29 - Includes Additional Dewatering Cost Material - LS - \$2,716.59

Item 6 - Additional PIRR Components - 4" Main/8" Sleeves/2" Sleeves - LS - Per plan modifications.

L&E - 1 DY Material – LS – 3,817.40

NOTE – All 6" Sleeves as called out on the plans were upsized by L2 to 8" Sleeves, 4" PIRR Main will not fit inside a 6" Sleeve. L2 pulled this material from their stock and installed it onsite at no additional cost to the project

Item 7 - Additional 2" PIRR Services

Item 8 - Removal & Relocation of Previously Installed Facilities

6" Fire Service – 1 EA
2" Water Service – 2 EA

Item 9 - Credit to RFC from Contract Items:

2 EA - Fire Hydrant Assemblies at CUP \$6,670.00 EA = (\$13,340.00)

We have provided all pipe material invoices for backup, L2 is not charging/requesting any additional cost/compensation for the pipe material other than the invoice amount.

A TOWN

Do not hesitate to contact us should you have any questions.

Sincerely,

Eric Bird Vice President Eric@l2excavation.com

Cell: 208-957-3706 Office: 208-800-0030 2817 Brandt Ave. Nampa, ID. 83686

7/21/2021

Central Paving Co., Inc.

**72,764.35

Central Paving Co., Inc. PO Box 15010 Boise, Idaho 83715

CID Haystack Sub 1 CO #4 -piping

Central Paving Co., Inc. Date Type Reference 7/21/2021

Original Amt. 72,764.35

Balance Due 72,764.35

7/21/2021 Discount

Payment 72,764.35

72,764.35 **Check Amount**

Columbia/ICB- CHEC CID Haystack Sub 1 CO #4 -piping

72,764.35

Central Paving Co., Inc. Date

7/21/2021 Bill

Type Reference

Original Amt. 72,764.35 Balance Due 72,764.35 7/21/2021

Discount

72,764.35 72,764.35

Payment

Check Amount

AIA Document G732 2 09

Application and Certification for Payment, Construction Manager as Adviser Edition

BARBER VALLEY DEVELOPMENT		APPLICATION NO: 7 000 APPLICATION DATE: 7	DISTRIBUTION TO: OWNER
		PERIOD TO: 6/30/2021	CONSTRUCTION MANAGER ARCHITECT
FROM CONTRACTOR: CENTRAL PAVING CO., INC MANAGER(S):	VIA CONSTRUCTION MANAGER(S):	CONTRACT DATE:	CONTRACTOR
Contact: Terry McEntee CONTRACT FOR: Harris Ranch - Haystack - 19045		COMMITMENT NO:	
CONTRACTOR'S APPLICATION FOR PAYMENT Application is made for payment, as shown below, in connection with the Contract. AIA Document G703, Continuation Sheet Equivalent, is attached.	ENT tion with the Contract. AIA Document G703,	The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates of Payment were issued and payments received from the Owner, and that current payment shown herein is now	ctor's knowledge, information and belief the in accordance with the Contract Work for which previous Certificates of that current payment shown herein is now
1. ORIGINAL CONTRACT SUM		due. CONTRACTOR: Central Paving Co., Inc.	
CONTRACT SUM TO DATE (Line I +- 2). 4. TOTAL COMPLETED AND STORED TO DATE (Column Ion G703)	.clumn I on G703) 1,972,377.00 -		
 RETAINAGE: Soft Completed Work 		By: State of TDA WO	Date: (6.202)
(Column)= 98,618.85 -	County of P DA	NENSEN-BC.
b. 5% % of Stored Material		Subscribed and sworn to before me	NON A PONT
Total Retainage (Lines 5a + 5b, or Total in Column L on	703)	"Public Gol- Con Town	NE
6 TOTAL EARNED LESS RETAINAGE	1,744,865.00 -	My Commission expires: 5(30) 2031	PUBLICAL PUBLICAL
7 LESS PREVIOUS CERTIFICATES FOR PAYMENT	1,657,621.75 -	CERTIFICATE FOR PAYMENT	No 6N
(Line 6 from prior Certificate) 8 CTRRENT PAYMENT DIFF	216,136.40	In accordance with the Contract Documents, based on evaluations of the Work and I	of the Work and tro-dap-pambrising this
	196,736.14	application, the Construction Manager(s) certify to the Owner that to the best of the print showledges information and belief the Work has progressed as indicated, the quality of the Work is in accordance with	to the best of the Work is in accordance with
(Line 3 minus Line 6) 10. BALANCE TO FINISH, EXCLUDING RETAINAGE	98,117.29	the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED	of the AMOUNT CERTIFIED
(Column & from G/U3)		AMOUNI CERTIFIED	1
Check here for request to release retainage.		Application and on the Continuation Sheet that are changed to conform with the amount certified.)	inform with the amount certified.)
		CONSTRUCTION MANAGER	
		By Head Hall	Date: 7/7/2/
SUMMARY OF CHANGES IN THE WORK	ADDITIONS DEDUCTIONS	CONSTRUCTION MANAGER	
Total changes approved in previous months by Owner			
Total approved this month including Construction Change Directives		at X	Date:

By:
This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance, payment and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.

NET CHANGES IN THE WORK

Harris Ranch Haystack

Date 7/2/2021 Pay Estimate No. 7

Pay Estimate #7

Contractor - Central Paving

2,327,50 \$ 58,786 00 6.840.00 w/Retention Current 3,222 00 2,450,00 4,000 00 61,880 00 7,200,00 5,160,00 Current Payments 12,765.00 \$ 44,053.80 S 28,800.00 | \$ 19,766,40 S 21,673,75 106,476,80 86,000,00 2,193.75 95.102.70 76,411.00 38,71140 5,100.00 40,700.00 13,956,80 8,732.50 20,055,00 1.500,00 18,800.00 52,000,00 213,141.60 5,400 00 142,380,00 33,250.00 5,100,00 500 00 Previous 2.127.00 \$ 4 00 \$ 5.55 \$ 00 969 286.00 \$ 250.00 S 1.800.00 5,493 00 1.00 175.00 3,00 1.00 8,902 00 3.390.00 105.00 11.00 5.00 12,687,00 1.00 17,339.00 ,755 00 3.00 Total Quantities Current 5,200,00 80.00 120.00 0.50 1.00 2,127 00 4,064,00 1,720,00 696.00 5,313.00 175.00 3.00 11.00 286,00 250.00 105.00 4 00 1.00 5,55 00. 3,702 00 ,755.00 3.00 4.00 Previous 12,687.00 00'1 17,339,00 3,390.00 1.00 4,900,00 17,500,00 1 00 12,765.00 213,141.60 4,400.00 106,476 80 90,000,00 105,933.80 98.324.70 81.571.00 142.380.00 33.250.00 8,732.50 5,100.00 22,656.00 20,055.00 5,100.00 40,700.00 47,300.00 3,500.00 1 00 52,000,00 19,766.40 13.956.80 5,400,00 1,000,00 2,193,75 1,500,00 36,000.00 18,800,00 Total Unit Price 17500 00 52000,00 4900 00 5400.00 1700.00 35.40 1000 00 3500.00 191 00 1500.00 26.20 48.80 Quantity Units LS CY AC 2 2 2 2 LS. Š SYCYSY S SY SY E S SY 12687 17339 4064 1800 8902 696 1755 5493 1897 3390 5.55 286 250 105 949 tandard 6" Vertical Curb and Gutter and Base Course Asphalt Concrete (Two Lift Placement per ACHD) 6" Minus Uncrushed Aggregate Subbase (Imported) Lower 6"Main Below Existing Non-Putable Main Harris Ranch Haystack 15' Wide Concrete Sidewalk and Base Course Concrete Pedestrian Ramps install new t" water service and meter setting General Site Work Road & Sidewalk Subgrade Compact & Prep 6' Wide Concrete Sidewalk and Base Course 3/4" Minus Crushed Aggregate Base Course Description ' Water Service with J- 2 Incli Setting Water " Fire Service With Valve & Blowoff Roads 6" Fire bydrunt Assembly Type "P" Asphalt Repair Saw Cut Existing Asphalt " x 2" Blowoff Assembly 2-1/2" Asphalt Concrete Construction Surveying Excavation to Subgrade " Irrigation Service 8" PVC Water Main 6" PVC Water Main Project Dewatering Concrete Entrances 3/4" Water Service Site Structural Fill Traffic Control Demobilization Clear & Grub Insurance Tackifier Bonds Client Bid # Ħ 이유 12 12 13 3 2 2 2 2 2 3 3 3 5 5

,	THE TREE CONNECTION TO TWISTING TO LANGUAGE	4	ď	1900 00	2	3,800,00	7 00		2004	0,000,0			
32	Hot Tap Connection to Existing 16" DI Main	12	Æ	1900 00	П	22.800.00	12 00		12.00	\$ 22,800,00	1		
36	Adjust Existing Water Valve to Inished grade	-	LS.	1300.00	S	1,300 00	0.75	0.25	1.00	\$ 975.00	_	325.00	\$ 308.75
	Sewer												
37	Connect to New 8" Main to Existing Sever Manhale	_	EA	7000,00	S	7,000.00	00.1		-		S 00		S
38	8" SDR35, PVC Sewer Main	327	LF	72.00	S	23,544,00	327 00		327.00	\$ 23,544,00	S 00		- S
39	4" SDR35, PVC Sewer Service	102	먑	74.10	S	7.558.20	102,00		102 00	S 7,558 20	-	•	
40	6" SDR35, PVC Sewer Service	515	LF	78.10		40,221,50	515.00		515.00	\$ 40,221.50	S S	•	. 8
41	48" Standard Sanitary Sewer Manhole	_	EA	3800.00	S	3,800.00	1.00		1 00	\$ 3,800.00	S 00	ji.	S
42	Connect New Service to Exist. Main (Insert-a-Tee Connection)	7	EA	1400.00	۷a	00.008,6	7.00		7 00	\$ 9,800 00	S 00		6/3
43	Cunnect New Service to Exist. Main (Cut Exist. Main & Install Tee)	ε.	EA	3100.00	S	9.300.00	3.00		3.00	S 9,300.00		9	69
44	Adjust Sewer Manhole to Grade	-	LS	3200.00	S	3,200.00	0.75	0.25	1.00	\$ 2.400.00	-	800.00	S 760.00
	Storm Drain												
45	12" PVC C-900 Storm Drain Pipe	825	LF	48.40		39,930.00	825.00		825.00	S	30 8	i.	59
46	18" PVC C-900 Storm Drain Pipe	512	LF	69 40	S 3	35.532.80	512.00		-	3	30 S	6	S
47	Connect to Existing 18" C-900 Storm Drain Pipe	2	EA	1300.00		2,600.00	2.00		2.00		-	1	5
48	Type I Catch Basin	19	EA	1300 00	68	24,700.00	19.00		19 00		-	•	S
49	48" Standard Storm Drain Manhole	5	EA	3300.00	1 8	16,500.00	5.00		5.00		-	3	S
20	Wise Way Dual Pipe Storm Drain Manhole	2	EA	7400.00	S	14.800.00	2.00		2.00		-	•	S
51	Core Drill & Connect New Pipe to Existing Manhole/Inlet	7	EA	1800.00	S	12,600.00	7.00		7 00		-	\neg	S
52	Adjust Storm Drain Manhole to Grade	1	FS	2800,00	S	2,800.00	0.75	0.25	1 00	\$ 2,100 00	00 S	200 00	\$ 665.00
	SWPPP												
53	Prepare and File SWPPP, ENOI, ACHD ESC Plan	1	LS	1800.00	S	1.800.00	1.00		1.00	\$ 1,800.00	30 \$	à	5
54	Install all BMPs Prior to Construction	-	LS	00 0066	S	00'006'6	1,00		1.00	\$ 9,900.00	-	į	S
55	Continuously Inspect and Maintain BMP's	1	LS	1700.00	s	1,700,00	1.00		1 00	S 1,700.00	-	100	S
56	Final Site Inspection and File ENOT	1	LS	826 00	S	826.00	·		,	60	S	*	S
	Irrigation										-		
57	4" Irrigation Main & Fittings	35	LF	43.60	S	1.526.00	35.00		35.00	N	S 00		S
28	4" Gate Valvo	2	EA	736.00	S	1.472.00	2 00		2,00		S 00	r	Ŋ
59	Connect to Existing System	1	ST	639.00	S	639.00	1.00		1.00	\$ 639 00	00	į	৬ ૧
09	Main Line Drain		EA	1100.00	S	1,100.00	1.00		1.00		20 8	4	
61	Complete Fine Irrigation Design and Installation	-	LS	50700.00		50,700,00	09.0	0.30	06.0	\$ 30.420.00	S	15,210.00	S 14,449.50
62	Irrigation Sleeving		LS	6400 00	S	6,400.00	1.00		1.00	\$ 6,400.00	30° S		69
	Landscaping										- 1	-	- 1
63	Amended Topsoil	1130	CY	27.50		31,075.00		1,130.00	1.130 00	S	S	31,075.00	S 29,52125
64	Lawn	33179	SF	0.51	S	16.921.29				S			S
65	Trees	98	EA	743 00	S	63,898.00			1	S		-	
99	Flowering plants in Planter Pots	_	LS	7100 00	S	7,100-00	=	0.50	0.50	S	vs	-	\$ 3,372.50
29	Trash Reception	11	EA	1900.00		20,900.00	4,00	7.00	11.00	\$ 7,600.00	S	-	
89	Benches	11	EA	3300.00	S	36,300,00	5.00	00'9	11.00	\$ 16,500.00	S	-	\$ 18,810.00
69	Planter Pots	22	EA	2100.00	S	46,200,00	11.00	11.00	22.00	\$ 23,100,00	c/3		\$ 21,945.00
70	Tree Grates	22	EA	5100.00	S 11	112,200,00	18,00	4.00	22 00	\$ 91.800.00	5 9	20,400 00	\$ 19,380 00
	Street Signs and Lighting												П
7.1	Street Signs	-	10	00 00001	c	10 000 01	0.50	0 50		0 00000		000000	00000

72	Removal of Existing Type II & III Barricades		S	1600.00	69	1.600.00	0.50	0.50	1.00 \$		\$ 800.00	0	760.00
73	Street Lights - 25 ft Pole with Class A Fixture	2	EA	5700.00	69	11,400.00	2.00		2.00 \$	11.400.00	64	649	•/
74	Street Lights - 30 ft Pole with Class B Fixture	5	EA	7000.00	69	35.000.00	4.00	1.00	\$ 00.5	28,000,00	\$ 7,000.00 \$	8	6,650.00
75	Street Light Electrical Conduit & Wire	1	LS	36000.00	69	36,000.00	1.00		1.00 \$	36.000.00	69	649	*
76	Powder Coat Street Signs & Poles	-	LS	2800.00	6-9	2,800.00	0.50	0.50	1.00		\$ 1.400.00	8	1,330.00
77	Pavement Stiping and Symbols		LS	4700.00	es,	4,700.00	08.0	0.20	1.00	3,760.00	£4	\$ 9	893.00
78	Obliterate Existing Pavement Stripe	400	77	2.15	69	860.00	400.00		400 00 \$	860 00	- 59	69	-
	THE RESERVE THE CHANGE OIDER #1 THE CASE OF THE PARTY OF				S	0	ı		,		S	S	E
79	Install Additional Stop Bars	Ļ	ST ST	\$ 500.00	69	500.00	1.00		1.00	200.00	69	S	
					69	٠	,		-		69	64	•

Total Contract

 Previous
 Payment This Payment This

 Payment
 Est (w/o
 Estimate (w/o

 (no retention)
 Retention)
 Retention)

 \$ 1,744,865,00
 \$ 227,512,00
 \$ 216,136,40

\$ 2.070,494,29

877.272.3678 columbiabank.com

6450

34-827/1251 CHECK ANMOR

DOLLARS

8/17/2021

BARBER VALLEY DEVELOPMENT INC

877 W MAIN ST STE 501 BOISE, ID 83702-6018

AY TO THE ORDER OF_

Central Paving Co., Inc.

**216,136.40

Central Paving Co., Inc.

PO Box 15010 Boise, Idaho 83715

мемо

Haystack #19045 CID Pay App #7

AUTHORIZED SIGNATURE

O.

10064501

BARBER VALLEY DEVELOPMENT INC

Central Paving Co., Inc.

8/17/2021

Date

Type Reference

Bill

Original Amt. 216,136.40 Balance Due 216,136.40 8/17/2021

Discount

Payment 216,136.40

6450

Check Amount

216,136.40

Columbia/ICB- CHEC

Haystack #19045 CID Pay App #7

216,136.40

6450

BARBER VALLEY DEVELOPMENT INC

Central Paving Co., Inc.

Date 8/17/2021

Bill

Type Reference

Original Amt. 216,136.40 **Balance Due** 216,136.40 8/17/2021

Discount

Payment 216,136.40

Check Amount

216,136.40

Columbia/ICB- CHEC

Haystack #19045 CID Pay App #7

216,136.40

AIA Document G732 2 09
Application and Certification for Payment, Construction Manager as Adviser Edition

OW'NER V MANAGER	CONTRACTOR	\mathbf{H}	nd belief the tct ficates of rein is now		7202	111.0°	NE.	0Hb	\ •••	rising this		- _	\	27				lamed)wner or
CONSTRUCTION MANAGER ABCULTTECT	CONTR		ector's knowledge, information a de in accordance with the Contra Work for which previous Certi I that current payment shown he		Party N. S. Party	O NAV	Ų	A PUBLY	MA CATE OF	s of the Work All the chall comp to the best of their knowledge,	t of the AMOUNT CERTIFIED	27,592.45	onform with the amount certifie	Pate: 7/25/	,		Date:	payable only to the Contractor	t prejudice to any rights of the C
APPLICATION NO: 8 000 APPLICATION DATE: 8 PERIOD TO: 7/3/1/21	CONTRACT DATE:	COMMITMENT NO:	The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates of Payment were issued and payments received from the Owner, and that current payment shown herein is now	due. CONTRACTOR: Central Paving Co Inc.	TRStriblond	1130HO FORD	Subscribed and swom to before me this 24 th day of July	n expines: 5	CERTIFICATE FOR PAYMENT	In accordance with the Contract Documents, based on evaluations of the Work Arthetic and comprising thi application, the Construction Manager(s) certify to the Owner that to the best of their knowledge, information and belief the Work has morneseed as indicated the mains of the Work is in accordance with	the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIER	AMOUNT CERTIFIED	Application and on the Continuation Sheet that are changed to conform with the amount certified CONSTRUCTIONMANAGER	Most March	CONSTRUCTION MANAGER			This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named	herein. Issuance, payment and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.
				1.1	2,164,783.32- 2,074,186.03 - By:	State of: County o	Subs this - this	1,974,114.95 My	1,817,629.35 - CE	27,592.45 In ac appli	the (AM((Att	Appl	By:	DEDUCTIONS		Bv:	This	herei
	VIA CONSTRUCTION MANAGER(S):		vith the Contract AIA		10 00)= 100,071.08	,		(-)) (-)	190,668.37	90,597.29				ADDITTONS				
BARBER VALLEY DEVELOPMENT	FROM CONTRACTOR: CENTRAL PAVING CO., INC MANAGER(S):	Contact: Terry McEntec CONTRACT FOR: Harris Ranch - Haystack - 19045	CONTRACTOR'S APPLICATION FOR PAYMENT Application is made for payment, as shown below, in connection with the Contract. AIA Document G703, Continuation Sheet Equivalent, is attached.	ORIGINAL CONTRACT SUM	CONTRACT SUM TO DATE (Line 1 + 2)	a 5% % of Completed Work 2,001,421.68 .)=	b. 5% % of Stored Material (Column H on G703 Total Retainane (Lines Sa + 5h or Total in Column L on G703)	TOTAL EARNED LESS RETAINAGE. (Lines 4 minus Line 5 Total)	LESS PREVIOUS CERTIFICATES FOR PAYMENT.	ING RETAINAGE	EXCLUDING RETAINAGE	(Column K from G703)	Vicak irde 101 Iquast 10 release Femiliage.		SUMMARY OF CHANGES IN THE WORK	Total changes approved in previous months by Owner	Total approved this month including Construction Change Directives	TOTAL	NET CHANGES IN THE WORK

Harris Ranch Haystack

Date 7/28/2021 Pay Estimate No. 8

Pay Estimate #8

	Sins						1					
Client Bid#	Description	Bid Quantity	Units	Unit Price	Total	Previous	Current	Total	Previous	Current	Cu w/Re	Current w/Retention
	Harris Ranch Haystack											
1	Mobilization		l ST	52000 00	\$ 52,000 00	1.00		1 00	\$ 52,000.00	i S	S	10
2	Deniobilization	_	LS	4900.00		0.50	0.50	1,00	\$ 2,450.00	\$ 2,450,00	S	2,327,50
e	Bonds	1	rs	17500.00	\$ 17,500 00	1.00		1.00	\$ 17,500 00	S	S	٠
4	Tasurance	-	LS	1.00	S 1.00	*		84	S		S	
	General Site Work											
5	Clear & Grub	5.55	AC	2300,00	\$ 12,765.00	5.55		5.55	\$ 12,765.00	S	c/s	e
9	Site Structural Fill	12687	CY	16.80	\$ 213,141,60	12,687.00		12,687.00	\$ 213,141 60	S	S	
7	Project Dewatering	_	LS	3500 00	3.500.00	1.00		1.00	\$ 3,500.00	CA CA	ĿΑ	32
œ	Tackifier	7	AC	2200.00				i	69	ev.	S	Ó
6	Excavation to Subgrade	2127	CY	18.20	S 38.711.40	2,127.00		2,127 00	\$ 38,711,40	69	s	•
10	Traffic Control	_	ST	5400.00	\$ 5.400.00	1.00		1.00	\$ 5,400,00	€7	S	•
11	Construction Surveying		LS	1000 00	\$ 1,000 00				S	S	S	•
	Roads											
12	Road & Sidewalk Subgrade Compact & Prep	17339	SΥ	1.25	\$ 21.673.75	17,339,00		17,339 00	\$ 21,673.75	S	6/)	ě
13	6" Minus Uncrushed Aggregate Subbase (Imported)	4064	CY	26.20	\$ 106,476.80	4,064,00		4,064.00	S 106,476 80	67	S	
14	3/4" Minus Crushed Aggregale Base Coarse	1800	CY	50.00	\$ 90,000.00	1.800.00		1,800 00		S	S	Ė
15	2-1/2" Asphalt Concrete	8902	λS	11.90	\$ 105,933.80	8,902.00		8.902.00	\$ 105,933.80 \$	· ·	S	Ė
16	5" Asphalt Concrete (Two Lift Placement per ACHD)	969	SY	28.40		00'969		00 969	S 19,766 40	s	εn	ž
17	Type "P" Asphalt Repair	286	SY	48.80	\$ 13,956.80	286.00		286.00		S	S	G.
18	Saw Cut Existing Asphalt	1755	LF	1.25	\$ 2.193.75	1,755,00		1,755,00		S	S	ì
19	Standard 6" Vertical Carb and Gutter and Base Course	5493	LF	17.90	\$ 98,324.70	5,493.00		5.493.00	\$ 98,324 70		S	ĭ
20	6' Wide Concrete Sidewalk and Base Course	1897	SY	43.00	\$ 81.571.00	1.897.00		1,897 00	\$ 81,571,00	i on	6/3	
21	15' Wide Concrete Sidewalk and Base Course	3390	SY	42.00	S 142,380.00	3.390.00		3.390 00	\$ 142,380,00	S	6/3	٠
22	Concrete Pedestrian Rumps	250	SY	133.00	\$ 33,250.00	250.00		250.00	S 33,250.00	S	6/3	Ü
23	Concrete Entrances	175	SY	49.90	S 8,732.50	175.00		175 00	\$ 8,732.50	S	S	•
	Water											
24	Install new 1" water service and meter setting	3	EA	1700 00	\$ 5.100.00	3.00		3 00	\$ 5,100 00	S	S	
25	8" PVC Water Main	640	LF	35.40	\$ 22,656.00	00 019		640 00		65	ςς	(A)
52	6" PVC Water Main	105	LF	191.00	\$ 20,055.00	105.00		105.00	\$ 20,055.00	S	S	*
7.7	6" x 2" Blow off Assembly	1	EA	1500 00	S 1,500 00	1.00		1 00	S 1.500 00	•	S	•
28	3/4" Water Service	-	EA	1.00	1.00	×		*		67	S	•
29	1" Irrigation Service	E)	EA	1700.00	S 5.100.00	3.00		3.00	\$ 5,100.00	S	S	
30	2" Water Service with 1-2 Inch Setting	11	EA	3700.00	S 40.700.00	11.00		11 00		69	S	1
31	6" Fire Service With Valve & Blowoff	1.1	EA	4300.00	\$ 47,300.00	11 00		11.00	\$ 47,300.00	S	S	20
32	6" Fire hydrant Assembly	S	EA	7200,00	\$ 36,000.00	5.00		5.00	\$ 36,000,00	5	S	٠
5	Lower 6"Main Below Existing Non-Potuble Main	4	1	470000	00 000 01	00,		00,	100 000 000			

34	Hot Tap Connection to Existing 12" PVC Main	2	EA	1900 00	8 3,800 00	30 2 00		2 00		\vdash	•	S
35	Hot Top Connection to Existing 16" DI Main	12	EA	1900 00	S 22,800.00	00 12.00		12.00		22,800 00 \$	4	6/3
36	Adjust Existing Water Valve to Inished grade	-	rs rs	1300.00	S 1,300,00	00 1 00		1 00		1,300.00 \$		6/3
	Sewer											
37	Connect to New 8" Main to Existing Sewer Manhole	_	EA	7000 00	\$ 7,000,00	00 1.00		1 00		7,000,00	ji•	S
38	8" SDR35, PVC Sover Main	327	LF	72.00	\$ 23,544,00	327.00		327.00				S
39	4" SDR35, PVC Sewer Service	102	LF	74.10	ı			102 00		7.558 20 \$		S
40	6" SDR35, PVC Sever Service	515	LF.	78.10	न			515 00				S
41	48" Standard Sanitary Sewer Manhole		EA	3800.00	3,800.00	L		1.00	8.5	3,800.00 \$	g.	S
42	Connect New Service to Exist. Main (Insert-a-Tee Connection)	7	EA	1400.00	00.008,9	7.00		7 00	8,6	S 00 008.6	(1)	es.
43	Connect New Service to Exist. Main (Cut Exist. Main & Install Tre)	3	EA	3100 00		3.00		3.00		-	ä	69
44	Adjust Sewer Manhole to Grade	-	LS	3200,00	\$ 3,200,00	00 1 00		1 00	S 3,2	3,200,00 \$		s
	Storm Drain		76.5									
45	12" PVC C-900 Storm Drain Pipe	825	LF	48.40	\$ 39,930 00	00 825.00		825 00	6,68 2	39,930.00 8		S
46	18" PVC C-900 Storm Drain Pipc	512	LF]	69.40	۳)	51		512.00		-	0	S
47	Connect to Existing 18" C-900 Storm Drain Pipe	13	EA	1300.00	\$ 2,600,00			2 00	\$ 2,6	2,600,00	99	S
848	Type I Calch Basin	19	EA	1300 00	\$ 24,700.00	00.61 00		19.00	\$ 24.7	24,700.00 \$		S
49	48" Standard Storm Drain Manhole	5	EA	3300.00		00 5 00		2 00	\$ 16,5	-	3.0	S
20	Wise Way Dual Pipe Storm Drain Manhole	71	EA	7400.00	\$ 14,800.00			2.00	\$ 14,8		•	લ્ક
51	Core Drill & Connect New Pipe to Existing Manhole/Inlet	7	EA	1800.00	_	00 7 00		7.00	\$ 12.6	12,600.00 \$	100	S
52	Adjust Storm Druin Manhole to Grade	1	l S7	2800 00	IS 2,800 00	00 1 1.00		1.00	П		*	E/S
	SWPPP											
53	Prepare and File SWPPP, ENOI, ACHD ESC Plan	-	LS	1800.00	S 1,800 00	00 1 00		1 00	S 1.8	-	9)	S
54	Install all BMPs Prior to Construction	-	LS	00 0066				1.00		8 00 006.6		S
55	Continuously Inspect and Maintain BMP's	-	LS	1700.00		00 1 00		1.00		1,700 00 \$	*	60
56	Final Site Inspection and File ENOT	-	LS	826.00	\$ 826,00	- 00		(0.)	69	s)		49
	Irrigation									-		
57	4" Irrigation Main & Fittings	35	Ľ.	43.60		_		35.00		-		S
58	4" Gate Valve	2	EA	736.00	-			2.00		1,472 00 S		60
59	Cunnect to Existing System	1	LS	639 00				1.00	S 6	639.00 S	13	S
90	Main Line Drain	-	EA	1100,00	\$ 1,100.00			1.00	S 1,1	1,100 00 \$	ě	(A)
61	Complete Fine Irrigation Design and Installation	-	LS	50700.00	S	0.90	0.10	1.00	89	-	5,070.00	\$ 4,816.50
29	Irrigation Sleeving	1	LS	6400,00	\$ 6,400.00	1.00		1.00	64)	6,400.00 \$	7.	63
	Landscaping							list.				
63	Amended Topsoit	1130	CY	27.50		00'02'11'130'00		1,130.00	\$ 31.0	31.075 00 \$	Œ	RS
64	Lawn	33179	SF	0.51	\$ 16,921.29	. 63		2	6/9	S	(8	S
65	Trues	98	EA	743.00	\$ 63,898.00	000		•	S	\$	200	S
99	Flowering plants in Planter Pots	-	LS	7100 00		05.0		0.50	\$ 3.5	_	(40)	S
29	Trash Receptical	==	EA	1900 00				11.00		-	A.	S
89	Benches	11	EA	3300 00				11.00	6×9	36,300 00 \$		S
69	Planter Pots	22	EA	2100.00		00 22.00		22.00	69	46,200,00 \$	•	જ
70	Tree Grates	22	EA	5100,00	S 112,200,00			22 00	S	112,200.00 \$		S
	Street Signs and Lighting											

72	Removal of Existing Type II & III Barricades	1	LS	1600 00	69	1.600.00	00.1		1.00 \$	1.600 00	6/3	•	co.	*
73	Street Lights - 25 ft Pole with Class A Fixture	2	EA	2700 00	જ	11,400.00	2.00		2.00 \$	11,400.00	69		S	
74	Street Lights - 30 ft Pole with Class B Fixture	5	EA	7000.00	6.5	35,000.00	5.00		5.00 \$	35,000,00	c ₃		67	. 1
75	Street Light Electrical Conduit & Wire	1	LS	36000,00	60	36,000.00	1.00		1 00	36,000.00	69		S	
76	Powder Coat Street Signs & Poles	1	LS	2800 00	6/2	2,800,00	1.00		1 00 \$	2,800.00	ы		69	,
77	Pavenent Stiping and Symbols	1	FS	4700.00	6-3	4,700.00	1.00		1.00 \$	4,700 00	69	0	673	9
78	Obliterate Existing Pavement Stripe	400	LF	2.15	64)	860.00	400.00		400 00	860 00	69		64	2
	Change Order #1				es,	6					69	,	c4	١.
79	Install Additional Stop Bars	1	- LS	\$ 500.00	(A)	200.00	1.00		1.00 \$	500.00	67	٠	69	
	Change Order #2													
80	Two Wire Up-Grade, Landscape Sprinklers	1	LS	\$ 18,175.89 \$ 18,175.89	es	18,175,89	9)	1.00	1.00	i i	81	\$ 18,175 89 \$ 17,267,10	\$ 17	,267.
81	Contractor Markup	1	l LS	\$ 908.79	S	62'806	٠	1.00	1.00	7	69	908.79	643	863.35
	Change Order #3													
82	Concrete Washout Removal	1	S	\$ 1,440.00 \$	69	1,440.00	•	1.00	1 00 \$		69	1,440.00	59	1,368.00
83	GPS Model Modifications Do to Design Changes	1	ST	\$ 1,000.00 \$	643	1,000.00		1.00	1.00	ŕ	69	1,000.00	ca	950.00
	Change Order #4													
84	Pipe Modifications and Additional Work	1	S	\$ 72,764.35 \$	69	72,764.35	1.00		1.00	72,764.35	(A		673	ľ
					S		•		6/3		Ge.		64	ľ

\$ 2,164,783.32 Total Contract

 Previous
 Payment This
 Payment This

 Payment
 Est (w/o
 Estimate (w/o

 (no retention)
 Retention)
 Retention)

 \$ 2,045,141.35
 \$ 29,044.68
 \$ 27,592.45

34-827/1261 BARBER VALLEY DEVELOPMENT INC CHECK ANMOR 877 W MAIN ST STE 501 BOISE, ID 83702-6018 9/8/2021 Central Paving Co., Inc. 27,592.45 PAY TO THE ORDER OF_ DOLLARS Central Paving Co., Inc. PO Box 15010 Boise, Idaho 83715 MEMO CID Pay App #8 Haystack 19045 AUTHORIZED SIGNATURE IPO06463IP **BARBER VALLEY DEVELOPMENT INC** 6463 Central Paving Co., Inc. 9/8/2021 Date Type Reference Original Amt. **Balance Due** Discount **Payment** 8/30/2021 Bill 27,592.45 27,592.45 27,592.45 **Check Amount** 27,592.45 Columbia/ICB- CHEC CID Pay App #8 Haystack 19045 27,592.45 **BARBER VALLEY DEVELOPMENT INC** 6463 Central Paving Co., Inc. 9/8/2021

Original Amt.

27,592.45

Balance Due

27,592.45

Discount

Check Amount

Type Reference

Bill

Date

8/30/2021

Payment

27,592.45

27,592.45

6463

COLUMBIA BANK

AIA Document G732 2 09

Application and Certification for Payment, Construction Manager as Adviser Edition

BARBER VALLEY DEVELOPMENT			APPLICATION NO: 9 000 APPLICATION DATE:	DISTRIBUTION TO:
			PERIOD TO:8/31/21	CONSTRUCTION MANAGER ARCHITECT
FROM CONTRACTOR: CENTRAL PAVING CO., INC MANAGER(S):	VIA CONSTRUCTION MANAGER(S):		CONTRACT DATE:	CONTRACTOR
Contact: Terry McEntee CONTRACT FOR: Harris Ranch - Haystack -19045			COMMITMENT NO:	
CONTRACTOR'S APPLICATION FOR PAYMENT Application is made for payment, as shown below, in connection with the Contract. AIA Document G703, Continuation Sheet Equivalent, is attached.	ith the Contract. AIA	Document G703,	The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates of Payment were issued and payments received from the Owner, and that current payment shown herein is now	or's knowledge, information and belief the in accordance with the Contract Vork for which previous Certificates of hat current payment shown herein is now
ORIGINAL CONTRACT SUM		2,069,994.29 96,801.52	due. CONTRACTOR: Central Paving Co., Inc.	
4. TOTAL COMPLETED AND STORED TO DATE (Column I on G703)	.I on G703)	2,160,567.81	M. RST.CC	Date: W. W. CEN [20.2.]
a 5% % of Completed Work 2,160,567.81	104,390.17		State of TAPHO County of ABP	\sim
iterial		100	om to before me	N NOTARY OF
(Column H on G703 Total Retainage (Lines 5a + 5b, or Total in Column L on G703) FOTAL FARNED LESS RETAINAGE	3)	104,390,17	pour romanies of so 3021	17 49
	#	1 974 114.95	CERTIFICATE BY PAYMENT	N No ON WILL
		000000	If $E \cap \mathcal{E}$ by accordance with the Contract Documents, based on evaluations of the Work and Medical composing this	of the Work and the connections this
8. CURRENT PAYMENT DUE	110,618-17	82,06289	application, the Construction Manager(s) certify to the Owner that to the best of their knowledge, information and belief the Work has more easy as information and belief the Work has more easy as information and belief the Work has more easy as indicated the minimum of the Work is in accordance with	to the best of their knowledge,
(Line 3 minus Line 6) 10 BALANCE TO FINISH EXCLUDING RETAINAGE	6,228,00	•	the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED	of the AMOUNT CERTIFIED.
			AMOUNT CERTIFIED	82,062.69
Check here for request to release retainage.			(Attach explanation if amount certified differs from the amount applied. Initial all figures on this Application and on the Continuation Sheet that are changed to conform with the amount certified.)	plied. Initial all figures on this nform with the amount certified.)
			CONSTRUCTION MANAGER By Manager	12.1.6 mg
SUMMARY OF CHANGES IN THE WORK	ADDITIONS	DEDUCTIONS	CONSTRUCTION MANAGER	
Total changes approved in previous months by Owner				
Total approved this month including Construction Change Directives			By:	Date:

By:
This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance, payment and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.

TOTAL

NET CHANGES IN THE WORK

Harris Ranch Haystack

Date 8/30/2021 Pay Estimate No. 9

Pay Estimate #9

Contractor - Central Paving	ung						Quantities	1		Payments	
Client Bid #	Description	Bid Quantity	Units	Unit Price	Total	Previous	Current	Total	Previous	Current	Current w/Retention
	Harris Ranch Haystack							e e			
1	Mobilization	_	L.S.	52000.00	\$ 52,000.00	1.00		1.00	\$ 52,000.00 \$,
2	Demobilization	-	LS	4900.00	\$ 4,900,00	1.00	The State of the	1.00	\$ 4,900.00 \$		S
8	Bonds	-	L'S	17500.00	\$ 17,500,00	1.00	TO STATE AND	1,00	S 17,500.00 S		·
4	Insurance	_	LS	1,00	S 1.00		3110			· ·	S
	General Site Work										
ιn	Clankachub	5.55	VC	2300.00	\$ 12-565.00	5.55		5.55	\$ 12,765.00 \$		S
9	Site Sfructural Fill	12687	CX	16.80	~	12.687.00		_	- 1	(A)	S
7	Project Dewatering	-	l LS	3500.00	\$ 3,500,00	1001		1.00	S 3,500,00 s	· ·	· s
00	Tackifier	2	AC	2200.00	\$ 4,400.00			0	S	S)	S
6	Excavation to Subgrade	2127	CX	18.20	\$ 38.711.40	2,127.00		2,127.00	\$ 38,711,40 \$	69	S
10	Traffic Control	-	ST	5400.00		1.00	S OF THE PERSON NAMED IN	-	5.400.00	S	S
11	Construction Surveying	-	ST	1000.00	\$ 1.000.00			•	-	69	s
	Roads										
12	Road & Sidewalk Subgrade Compact & Prep	17339	SY	1.25	\$ 21.673.75,	17,339.00	CATAL STREET	17,339,00	\$ 21,673.75	S	S
13	6" Minus Uncrushed Aggregate Subbase (Imported)	4064	ζζ	26.20	\$ 106,476.80	4.064.00		4.064.00	S 106,476,80 S	ı,	S
14	3/4" Minus Crushed Aggregate Base Coarse	1800	CY	50.00	\$ 90,000,000	1.800.00		1.800.00	S 90,000,00	· va	's
15	2-1/2" Asphalt Concrete	8902	SY	11.90	\$ 105,933,80.	8.902.00		8,902.00	\$ 105,933.80	69	S
16	5" Aspbalt Concrete (Two Lift Placement per ACHD)	969	SY	28.40		00'969		00'969	19,766.40	· ·	(A
17	Type "P" Asphalt Repair	286	SY	48.80	\$ 13.956.80	286.00		286.00	13.956.80	ı,	S
18	Saw Cut Existing Asphalt	1755	1	1.25		,		_	2,193.75	· ·	S
10	Standard 6" Vertical Curb and Gutter and Base Course	5493	감	17.90	\$ 98,324.70	5,493.00		5,493.00	98.324.70	·	(v3
20	6' Wide Concrete Sidewalk and Base Course	1897	SY	43.00		1.897.00		-	81,571.00	S	S
21	15 Wide Concrete Sidewalk and Base Course	3390	λS	42.00	\$ 142,380,00	3.390.00		3,390.00	S 142,380,00	69	S
22	Concrete Pedestrian Ramps	250	SY	133,00		250.00		-	33,250.00	S	S
£Z	Concrete Entrances	175	SY	49.90	\$ 8,732.50			175.00	8.732.50	ı	60
	Water										
24	Install new 1" water service and meter setting)	3	EA	1700.00	\$ 5,100.00	3.00		3,00	S 5.100.00	S	S
25	8" PVC Water Main	640	5	35.40	\$ 22,656.00	640.00		-	22,656.00	S	S
26	6" PVC Water Main	105	님	191.00	\$ 20,055.00	105.00		105.00	\$ 20.055.00	S	S
22	6"x 2" Blowoff Assembly	-	EA	1500.00		1.00		1.00	1,500.00	S	S
28	3/4" Water Service	_	EA	1.00	\$ 1.00	j)	THE THE PARTY	10	e	·	S
29	1" Irrigation Service	E)	EA	1700.00	\$ 5,100.00	3.00	(Jan. 14 19 19 14 1	3.00	\$ 5,100,00	S	S
30	2" Water Service with 1-2 Inch Setting	=	EA	3700.00	\$ 40,700.00	11.00		11.00	\$ 40,700.00	S	S
31	6" Fire Service With Valve & Blowoff	1	EA	4300.00	\$ 47,300.00	11.00		11.00	S 47,300,00	S	S
32	6" Fire hydrant Assembly	5	EA	7200,00	\$ 36,000.00	5.00		5.00	S 36,000.00	S	S
33	Lower 6"Main Below Existing Non-Potable Nain	4	EA	4700,00	\$ 18,800.00	4.00	Control of the Contro	4.00	S 18.800.00	S	S)
34	Hot Tap Connection to Existing 12" PVC Main	2	E	1900.00	\$ 3,800,00	2.00		200	3.800.00	S	69
35	Hot Tap Connection to Existing 16" DI Main	12	EA	1900,00	\$ 22,800.00	12.00		12.00	22,800,00	S	S
36	Adjust Existing Water Valve to finished grade	-	LS.	1300.00	\$ 1,300.00	1.00		1.00	\$ 1,300.00	S	49
	Sewer										+
37	Connect to New 8" Main to Existing Sewer Manhole	-	EA	7000.00	\$ 7,000.00 ·	1.00		1.00	S 7,000,00°.	· S	S
38	8" SDR35, PVC Sewer Main	327	LF		.,	327.00	The control of the second	-	23,544.00	S	\$
39	4" SDR35, PVC Sewer Service	102	LF	74.10	NS 7,558,20	102.00	7. (TICAN)	102,00	7,558.20	·	
40	6" SDR35, PVC Sewer Service	515	LF		4	515.00		515.00	_	e e	S
41	48" Standard Sanitary Sewer Manhole	_	EA	3800,00	\$ 3,800,00	1001	市上层层加坡	1.00	3,800.00		S

27	Connect New Service to Exist. Main (Cut Exist. Main & India) Tee)	3	EA	3100,00		9.300.00	3,00		_	9,300.00	,	ς,
4	Adjust Sewer Manhole to Grade	-	LS	3200,00	vs	3,200.00	1.00	100	-	Н	S	S
	Storm Drain											
45	12" PVC C-900 Storm Drain Pipe	825	H	48.40		39,930,00	825.00		-	39,930.00	S	S
46	18" PVC C-900 Storm Drain Pipe	512	크	69.40	69	35,532.80	512.00	TO STATE OF THE PARTY OF THE PA	-	-		
47	Connect to Existing 18" C-900 Storm Drain Pipe	2	EA	1300.00	П	2,600.00	2.00		-	2,600.00	S	S
48	Type I Catch Basin	19	EA	1300.00		24,700.00	19.00		-	24,700.00		S
49	48" Standard Storm Drain Manhole	2	EA	3300.00		16,500.00	2.00	TO THE REAL PROPERTY.	-	16,500.00		
50	Wise Way Dual Pipe Starm Brain Manhole	C1	EA	7400.00		14,800.00	2.00		-	14,800.00		10.0
51	Core Drill & Connect New Pipe to Existing Manhole/Infet	7	EA	1800.00	S	12,600,00	2.00		-	12,600.00		
52	Adjust Storm Drain Manhale to Grade		LS	2800.00	S	2.800.00	1,00		1.00	\$ 2,800.00		5
	dddMS								-			
53	Prepare and File SWPPP, ENOL, ACHD ESC Plan	-	LS	1800.00	(A)	1,800.00	1.00		-	1.800.00		'n
54	Install all BAIPs Prior to Construction	_	rs	9900.00	\$	\$ 00.006.6	1.00	The state of the s	_	-		S
55	Continuously Inspect and Maintain BMP's		LS	1700.00	63	1,700.007,1	1.00		1,00	1,700.00	(4)	S
56	Final Site Inspection and File ENOT	-	IS	826.00	es.	826.00	,		,			,
	Trigation						200	A		00,000		c
57	4" Irrigation Mnin & Fittings	35	į.	43.60	A	1,526.00	35.00	Contract of the second		1,320.00	2	
58	4" Gate Valve	c1	EA	736,00	63	1.472.00	2.00		-	1,472.00		0
59	Connect to Evisting System	- -	S i	1100.00	S	00.000	00.		300	5 639,00	20	A U
09	Maia Line Drain	-	Y .	1100.00	0	00.000.00	20.1	COLUMN TO A STATE OF THE PARTY		20.000.05		, 0
61	Complete Fine Irrigation Design and Installation	-	3	20,00,00	1	20,700.00	00.1			6 400 00		ט פ
62	Irrigation Sleeving		ST	6400.00	2	0,00,00	1.00			0,400,00		י ו
	Landscaping	00.	1	03.60		0102500	1 120 00	CHARLES AND	113000	31075 00	U	v
63	Amended Topsoil	1130	5 5	05.72	1	00,070,00	1,130.00	22.170.00	-		0616091 3	-
2	Lawn	331/9	7 1	0.01	A	10,921.29		00.671.50	00.671.66	200	1	9 0
65	Trees	00 -	EA C	7100.00	II.	7 100 00	0.50	0.50	-	3 550.00	1	3 60
g (Trees Described	- =	3 2	1900 00		00 000 00	11 00		+-	"	ŀ	S
4	Parahar Barahar	=	Š Č	3300 00		36 300 00	11 00		-			
8	Planter Pots	22	EA	2100.00	1	46,200,00	22.00		-		·	S
8 8	Tree Grates	22	EA	5100.00	S	112,200.00	22.00	10 to 4 GV	22.00	S 112,200.00	S	S
	Street Signs and Lighting											
7.1	Street Signs	-	I'S	10400.00	S	10,400.00	1.00	MAKES REPLY	-	\$ 10,400.00	S	'A
77	Removal of Existing Type II & III Barricades	1	LS	1600.00	S	1.600.000	1,00		-	1		S
73	Street Lights - 25 ft Pole with Class A Fixture	2	F	5700.00		11,400.00	2.00		-	Н		S
74	Street Lights - 30 ft Pole with Class B Fixture	5	EA	7000.00		35,000.00	5.00	The Street of the Street	-	1	· 69	S
75	Street Light Electrical Conduit & Wire	-	S	36000.00	٠	36,000.00 1	8		-			0
76	Powder Coat Street Signs & Poles	-	S	2800.00	S	2,800.00 /	1.00		-	\$ 2,800.00		S
77	Pavement Stiping and Symbols	-	23	4700.00	S	1,700,00	1.00		-	7		A (
78	Obliterate Existing Pavement Stripe	400	<u>"</u>	2.15	us :	\$60.00	400.00		400,00	\$ 850.00		N
	Change Order #1				S		9	10 ST. 11 ST. 14 ST. 15 ST.		20000		A 10
79	Install Additional Stop Bars	-	LS.	\$ 500:00	-	200,00	1,00		00:1	200,000		_
	Change Order #2		-	;		00.00	1.00	STATE OF STA	-	10 175 00		٥
80	Two Wire Up-Grade, Landscape Sprinklers	-	3	\$ 18,175.89	A	18.173.89	1.00		00.1	2000 000 000	9 6	9 6
81	Contractor Markup	-	rs	\$ 908.79		908.79	1.00	COLUMN SAN SAN SAN	1.00	1	A	
	Change Order#3	-	9	- 1		00007	100	The last of the second second	1 20			v
82	Concrete Washout Removal	-	2	\$ 1,440.00	20	1,440.00	1.00		00.1	1.440.00		9 6
83	GPS Model Medifications Do to Derign Changes	-	2	1,000.00	2	1,000,00	20.1		1,00		0	9
	Change Order #4		-	30 137 07 9	N .	27/26	2		00.	35 792 02 3		,
\$	Pipe Modifications and Additional Work	-	3	\$ 72,704.33	9	CCHOLON	30.1		1.00		2	
	CHICAGO TO THE COLOR											

Contractor Marking		-	S	on on	95.83	5 95.83	3 45	Ü	00		1.00	S	1	\$ 95	95.83 \$	91.04
					64				 7			2	,	S		
							,					Previous	ম 1	Payment 7	This	evious Payment This Payment This
						2 Oran Contract	5					fraymer (no return	II ion)	Pertention	ə <u>(</u>	Petention (
10 20					ς).	\$ 2,166,795.81	<u>.</u>	5		ŧ		\$ 2,074,186.03	\$6.03	\$ \$6.38	1 78	82,062
	20	D	И	. 4.	414	790 ASC 07	1/2									
	>				1	5001100										

Barber Valley Development Inc 877 W Main St Ste 501 Boise, ID 83702 7005 10.13.202 TO THE ORDER OF 69/100 34-827/1251

700 5H

Central Paving Co., Inc.

Type Reference Date 10/12/2021 Bill

Original Amt. 82,062.69 Balance Due 82,062.69 10/13/2021 Discount

Payment 82,062.69 82,062.69

Check Amount

Columbia/ICB- CHEC Haystack Pay App #9 CID

82,062.69

Central Paving Co., Inc.

Date Type Reference 10/12/2021 Bill

Original Amt. 82,062.69

Balance Due 82,062.69

10/13/2021 Discount

Payment 82,062.69

Check Amount

82,062.69

AIA Document G732 2 09

Application and Certification for Payment, Construction Manager as Adviser Edition

DATE: CONTRACTOR FIELD		NTNO:	The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates of Payment were issued and payments received from the Owner, and that current payment shown herein is now	Central Paving Co., Inc.	- 20% A	ATE OF MARIE	Jeinbeer A Solving		NOTARY O	In accordance with the Contract Documents, based on evaluations of the London High accordance with the Contraction Manager(s) certify to the Owner that on the best with Tablylieties. The Most has normassed as indicated the most first of the World his When the Most has no more sent as indicated to the Most has no more sent as indicated the Most has no more sent as indicated to the Most has no more sent as indicated to the most more sent as the most more sent more sent as the most more sent		J 110,564,17	(Attach explanation if amount certified differs from the amount applied. Initial all figures on this Application and on the Continuation Sheet that are changed to conform with the amount certified.)	16/21	Date: 1/1/61
	CONTRACT DATE:	COMMITMENT NO:	The undersigned Contract Work covered by this App Documents, that all amour Syment were issued and J	due. CONTRACTOR:		State of TOAHO County of ADA	Subscribed and swom to before me this Paris dayof NO	38	CERTIFICATE FOR PAYMENT	n accordance with the Co upplication, the Constructi	he Contract Documents, a	AMOUNT CERTIFIED	Attach explanation if ame Application and on the Co	CONSTRUCTION MAN	By Park
	VIA CONSTRUCTION MANAGER(S):		AIA Document G703,	2,069,994,29	2,166,741,81	2,166,741,81)= 108,337.09	*	108,337,09	2,160,567.81	5,865.30	0:00	3D		1.56	
	FROM CONTRACTOR: CENTRAL PAVING CO., INC MANAGER(S)	Contact: Terry McEntee CONTRACT FOR: Harris Ranch - Haystack - 19045	CONTRACTOR'S APPLICATION FOR PAYMENT Application is made for payment, as shown below, in connection with the Contract. Continuation Sheet Equivalent, is attached.	1. ORIGINAL CONTRACT SUM	3 CONTRACT SUM TO DATE (Line 1 +- 2)	a. 5% % of Completed Work (Column F + G on G703	b. 5% % of Stored Material (Column H on G703	Total Retainage (Lines 5a + 5b, or Total in Column L on G703) 6. TOTAL EARNED LESS RETAINAGE.	(Lines 4 minus Line 5 Total) 7. LESS PREVIOUS CERTIFICATES FOR PAYMENT		(Line 3 minus Line 6) 10. BALANCE TO FINISH, EXCLUDING RETAINAGE		X Check here for request to release retainage.	*Change order 4 for \$72,76425 was paid in full no returtion was withhuld Retention is board on \$2,093,97156	



By:

This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance, payment and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.

CONSTRUCTION MANAGER

DEDUCTIONS

ADDITIONS

TOTAL

NET CHANGES IN THE WORK

Total changes approved in previous months by Owner
Total approved this month including Construction Change
Directives

SUMMARY OF CHANGES IN THE WORK

Harris Ranch Haystack

Date 11/8/2021 Pay Estimate No. 10

Pay Estimate #10

.

Contractor - Central Paving

id nutity Units Unit Price T LS 52000.00 \$ 5 LS 4900.00 \$ 5 LS 1.00 \$ 1 LS 1.00 \$ 21 LS 1.00 \$ 21 SS AC 2300.00 \$ 21 LS 1.00 \$ 21 \$ 21 SS AC 2200.00 \$ 21 LS 1.25 \$ 21 \$ 22 SS CY 1.25 \$ 3 LS 1.25 \$ 3 \$ 3 SSY 1.25 \$ 2 \$ 2 SSY 28.40 \$ 10 \$ 10 SSY 1.25 \$ 5 \$ 10 SSY 28.40 \$ 10 \$ 10 SSY 28.40 \$ 10 \$ 10 SSY 28.40 \$ 10 \$ 10 SSY 43.00 \$ 3 \$ 10 SSY 43.00 \$ 3 \$ 3 SSY	Total Previous 52,000,00 1.00 4,900,00 1.00 17,500,00 1.00 1.00 1.00 1.00 1.00 1.00 1.00	Current	Total	Previous	Current	Current w/Retention
Mobilization						
Demobilization Total Section Total Section Section Section Section Total Section Section Total Section Section Total Section						
Demobilization Demo			90	00000000	6	
Bonds Bonds Bonds Bonds Bonds			8 6	32,000.00	0.6	A 6
Insurance			00:1	4,300,00	f 6	9 (
Chear & Crub Site Strotural Fill 17687 CY 16.80 S Project Dewatering 17687 CY 16.80 S Project Dewatering 17687 CY 16.80 S Project Dewatering 1			0.1	17,300.00	9 6	0
Clear & Grub 5.55 AC 2300,00 S Project Devastering 12687 CY 16.80 S Project Devastering 1 LS 3500,00 S Tacklifer 2 AC 2200,00 S Excursion to Subgrade 1 LS 3500,00 S Traffic Control 1 LS 3400,00 S Construction Surveying 1 LS 3400,00 S G'' Minus Unrushed Aggregate Explanate Compact & Prep 17339 SY 11.25 S 6'' Minus Curshed Aggregate Base Coarse 1800 CY 50.00 S 2.12" Asphalt Controle Circle Circle (Two Lift Placement per ACHD) 696 SY 48.80 S 5" Asphalt Controle Circle (Two Lift Placement per ACHD) 696 SY 48.80 S 6" Wide Controle Sidewalk and Base Course 5493 LF 17.90 S 5 Saw Cut Existing Asphalt Controle Pedestrian Ramps 5000 SY 43.00 S 6" Wide Cont			,		A	N
Site Structural Fill 12687 CY 16.80 5 Project Dewatering 1 LS 3500.00 \$ Tackifier 2 AC 2200.00 \$ Exervation to Subgrade 1 LS 3500.00 \$ Traffic Control Road & Sidewalk Subgrade Compact & Peep 1 LS 3400.00 \$ Road & Sidewalk Subgrade Compact & Peep 17339 SY 1.25 \$ \$ 6" Minus Uncrushed Aggregate Subbase (Imported) 4064 CY 26.20 \$ \$ 3/4" Minus Cursteed Aggregate Base Coarse 1800 CY 50.00 \$ \$ 2-1/2" Asphalt Concrete Two Lift Placement per ACHD) 696 SY 48.80 \$ 5 "Asphalt Concrete Sidewalk and Base Coarse 1755 LF 17.90 \$ 6" Wide Concrete Sidewalk and Base Course 3493 LF 17.90 \$ 15 Wide Concrete Sidewalk and Base Course 250 SY 42.00 \$ 15 Wide Concrete Sidewalk and Base Course <			000	10.000		
Project Dewatering 1	12.68		3.33	012,765.00		64
Tacketien Tacketien 2 AC 2200,000 S	+		12,087.00	213.141.60		69
Excavation to Subgrade		or or	1.00	3,500.00		S
Traffic Control 1	38 711 40 2 127 00		,			v.
Construction Surveying 1 1.5 1000.00 S	2,12		2,127.00	38,711.40	64	9
Road & Sidewalk Subgrade Compact & Prep 17339 SY 1.25 5.000 5.000	400.00 I.UU		1.00	5,400.00	S	S
Road & Sidewalk Subgrade Compact & Prep 17339 SY 1.25 5.2	1,000.00			69	64	S
6" Minus Uncrushed Aggregate Subbase (Imported) 415-37 51 1.12.3 53 3/4" Minus Crushed Aggregate Base Coarse 1800 CY 50.00 \$ 10 2-1/2" Asphalt Concrete 8902 SY 11.90 \$ 10 5" Asphalt Concrete (Two Life Placement per ACHD) 696 SY 28.40 \$ 10 5" Asphalt Repair 286 SY 48.80 \$ 10 5 Saw Cut Existing Asphalt 286 SY 48.80 \$ 10 6 Wide Concrete Sidewalk and Base Course 5493 LF 17.90 \$ 9 15 Wide Concrete Sidewalk and Base Course 1897 SY 43.00 \$ 8 15 Wide Concrete Sidewalk and Base Course 250 SY 43.00 \$ 14 15 Concrete Entrances Water 175 SY 49.90 \$ 2 6" PVC Water Main 6" PVC Water Main 640 LF 35.40 \$ 2 6" "YC Water Main 6" PVC Water Main 60" PVC Water Main <t< td=""><td>-</td><td></td><td>-</td><td></td><td></td><td></td></t<>	-		-			
34" Minus Crusheid Aggregate Base Coarse 1905			-	21,673.75	69	69
2-1/2" Asphalt Concrete 1800 CY 20,000 S 5	1			\$ 106,476.80 5	S	S
Saw Cut Existing Asphalt Repair Course Course S902 SY 11.90 S 10 Type "P" Asphalt Repair Course Course S493 LF 12.5 S 1 Saw Cut Existing Asphalt Repair 1755 LF 17.90 S 1 Saw Cut Existing Asphalt Repair 1755 LF 17.90 S 1 Shandard 6" Veritical Curb and Gutter and Base Course 1897 SY 43.00 S 1 Shandard 6" Veritical Curb and Gutter and Base Course 1897 SY 43.00 S 1 Swide Concrete Sidewalk and Base Course 1897 SY 42.00 S 1 Concrete Pedestrian Ramps Concrete Pedestrian Ramps Type SY 133.00 S 1 Concrete Entrances Water Symmetrial new 1" water service and meter setting S EA 1700.00 S 2 S" PVC Water Main 640 LF 35.40 S 2 S" PVC Water Main 105 LF 191.00 S 2 S" Water Service 1 EA 1500.00 S 1 S" Water Service 1 1 EA 1500.00 S 1 S" Water Service 1 1 EA 1500.00 S 1 S" Water Service 1 1 EA 1500.00 S 1 S" Water Service 1 1 EA 1500.00 S 1 S" Water Service 1 1 1 1 1 1 1 1 S" Water Service 1 1 1 1 1 1 1 1 1 S" Water Service 1 1 1 1 1 1 1 1 1			1,800.00	\$ 90,000.00 \$	S	69
Type 'P' Asphalt Repair Per ACHD 696 SY 28.40 S Type 'P' Asphalt Repair Per ACHD 286 SY 48.80 S Saw Cut Existing Asphalt Repair 1.25 S 1.25 S Standard 6' 'Vertical Curb and Gutter and Base Course 1897 LF 17.90 S 9 G' Wide Concrete Sidewalk and Base Course 1897 SY 43.00 S 15 Concrete Pedestrian Ramps 250 SY 133.00 S 14 Concrete Entrances Water 350 SY 49.90 S Install new 1" water service and meter setting 3 EA 1700.00 S G'' X Dillowoff Assembly 1 EA 1500.00 S I' Trivain Ramps 1 EA 1500.00 S I' Triva	105,933.80 8,902.00		8,902.00	-	64	64
Saw Cut Existing Asphalt Nepair 286 SY 48.80 S 1	19,766.40 696.00		00'969	19,766.40		
Sank Laft Existing Asphalt 1755 LF 1.25 S Stand Conference Sidewalk and Base Course 5493 LF 17.90 S Standard of "Vertizal Curb and Gutter and Base Course 5493 LF 17.90 S 9 15 Wide Concrete Sidewalk and Base Course 1897 SY 43.00 S 14 Concrete Pedestrian Ramps 250 SY 133.00 S 3 Concrete Entrances Water 175 SY 49.90 S 3 Install new 1." water service and meter setting 3 EA 1700.00 S 2 G' PVC Water Main 640 LF 35.40 S 2 G' ** STAND STA	13,956.80 286.00		-	13 956 80		64
Standard 6" Verifical Curb and Gutter and Base Course 5493 LF 17.90 \$\$ 6" Wide Concrete Sidewalk and Base Course 1897 SY 43.00 \$\$\$ 15" Wide Concrete Sidewalk and Base Course 1350 SY 42.00 \$\$\$\$ 15" Wide Concrete Pedestrian Ramps 250 SY 133.00 \$\$\$\$\$\$\$\$ Concrete Entrances 75 SY 49.90 \$	2,193.75 1,755.00	4	1.755.00	27 193 75		9 (4
6' Wide Concrete Sidewalk and Base Course 1897 SY 43.00 S 15' Wide Concrete Sidewalk and Base Course 3390 SY 42.00 S 15' Wide Concrete Sidewalk and Base Course 250 SY 133.00 S Concrete Pedestrian Ramps Water 175 SY 49.90 S Install new 1" water Service and meter setting 3 EA 1700.00 S 6" PVC Water Main 640 LF 35.40 S 6" RVC Water Main 105 LF 191.00 S 34" Water Service 1 EA 1500.00 S 1" Irripation Service 1 EA 100 S	98,324.70 5,493.00		-	02 324 70		9 6
15 Wide Concrete Sidewalk and Base Course 3390 SY 42,00 S 5 Concrete Pedestrian Ramps 250 SY 133.00 S 5 Concrete Entrances Water 175 SY 49.90 S 5 Install new 1" water service and meter setting 3 EA 1700.00 S 5 6" PVC Water Main 105 LF 191.00 S 5 6" x 2" Blowoff Assembly 1 EA 1500.00 S 5 1" Irinstant Service 1 EA 1500.00 S 5 1" Irinstant Service 1 EA 100 S 1 1" Irinstant Service 1 EA 1 1" Irinstant Service 1 EA 1 1" Irinstant Service 1 EA 1 1" Irinstant Service 1 1 1 1" Irinstant Service 1 1 1 1 1" Irinstant Service 1 1 1 1 1" Irinstant Service 1 1 1 1 1 1" Irinstant Service 1 1 1 1 1 1 1" Ir	81,571.00 1.897.00		+	81 571 00		9 4
Concrete Pedestrian Ramps 250 SY 133.00 S		22.00	-	142 300 00		- 1
Concrete Entrances Water Water Wain Water Wa	L	30.00		33 350 00	2,000,000	2,074.80
Water Wate		2000		00.002,00		
Install new 1" water service and meter setting 3 EA 1700.00 \$	L		_		,	,
8" PVC Water Main 640 LF 35.40 \$ 2 6" PVC Water Main 105 LF 191.00 \$ 2 6" x 2" Blowoff Assembly 1 EA 1500.00 \$ 3 34" Water Service 1 EA 1.00 \$	5 100 00 3 00		000 8	-		
6" RVC Water Main 105 LF 191.00 \$ 6" x 2" Blowelf Assembly 1 EA 1500.00 \$ 34" Water Service 1 EA 1.00 \$	9		-			·
6" x 2" Blowoff Assembly 1 EA 1500.00 \$ 34" Water Service 1 EA 1.00 \$ 1" Irring Service 2			-	77,636.00		
3/4" Water Service 1 EA 1.00 \$			-	20,055.00		حما
11 Trinstin Carries			20.1	1,500.00		69
1 inganon service 3 EA 1700 00 S	5 100 00 3 00		00.0	+		<i>A</i>
2" Water Service with 1-2 Inch Setting 11 EA 3700.00 S 4			-	3,100.00		' A
e & Blowoff 11 EA 4300 00 K			_	40,700.00		·
FA 7200 00 €			_	47,300.00	90	
Lower 6"Main Below Existing Non-Potable Main 4 FA A7700 On			00.0	5 36,000,00 S	(1)	S

(1) APPED CONGREGA N'X INTERSECTION HAPSTREET ST. & WISS WAY.

,	The commence of the state of th	\ -	4	1900 00	A	3 800 00	2001	_	2000	2 900 00	-		6
35	Hot Tap Connection to Existing 16" DI Main	12	EA	1900 00	8	22.800.00	12.00	1 1	+	00 000 00	+		A G
36	Adjust Existing Water Valve to finished grade	_	S	1300.00	69	1 300 00	1 00	12	-	1 300 0	+	,	A
	Sewer				,	200000	00.1		P.00	1,500,00	A	v.	2
37		-	EA	7000.00	64	7 000 00	1 00		00	7 000 00	+		6
38	8" SDR35, PVC Sewer Main	327	LF	72.00	69	23.544.00	327.00	327 00	-	73 544 00	9 6		9 6
39	4" SDR35, PVC Sewer Service	102	LF	74.10	L	7.558.20	102.00	102 00		7 558 20		•	A 6
40	6" SDR35, PVC Sewer Service	515	LF	78.10	65	40,221.50	515.00	515.00		40.221.50	-	,	96
41	48" Standard Sanitary Sewer Manhole	-	EA	3800.00	64	3.800.00	100	(1)		3 900 00	-		9 6
42	Connect New Service to Exist. Main (Insert-a-Tee Connection)	7	EA	1400.00	64	9 800 00	2.00	7	-	00,000	+-		A 6
43	Connect New Service to Exist. Main (Cut Exist. Main & Install Tee)	3	EA	3100.00	€4	9 300 00	3.00	, ,	-	20000		×	А
44	Adjust Sewer Manhole to Grade	-	TS	3200.00	64	3 200 00	000	0 -		3,200,00	A 6	d	A
	Storm Drain						20:1		+	3,200 00			A
45	12" PVC C-900 Storm Drain Pipe	825	LF	48.40	S	39.930.00	825 00	825 00	9	30 030 00	6		6
46	18" PVC C-900 Storm Drain Pipe	512	LF	69.40	S	35,532,80	512.00	\$12.00	-	35 532 80	+		A G
47	Connect to Existing 18" C-900 Storm Drain Pipe	6	EA	1300.00		2,600.00	2.00	6	+	0 600 00			9 6
48	Type I Catch Basin	61	EA	1300.00		24,700.00	00 61	01	+	24 700 00	+		9 6
49	48" Standard Storm Drain Manhole	5	EA	3300.00	П	16,500.00	5.00	2	-	16 500 00	-		9 64
20	Wise Way Dual Pipe Storm Drain Manhole	2	EA	7400.00		14,800.00	2.00	0	-	14 800 00	┿		9 6
51	Core Drill & Connect New Pipe to Existing Manhole/Inlet	7	EA	1800 00		12,600.00	7.00	7	+	12 600 00	_		9 6
52	Adjust Storm Drain Manhole to Grade	-	LS	2800.00	65	2,800,00	1.00		+-	2,800,00		v n	9 6
	SWPPP				100				+	2,000.0	_	1	9
53	Prepare and File SWPPP, ENOI, ACHD ESC Plan	-	LS	1800.00	69	1,800.00	1.00		100	1 800 00	8	1	6
54	Install all BMPs Prior to Construction	1	LS	9900.00	6-9	9,900.00	1.00		100	00 000 6	+	Ī	9 6
55	Continuously Inspect and Maintain BMP's	1	LS	1700.00	es	1,700.00	1 00		-	1 700 00	6	N.	9 6
26	Final Site Inspection and File ENOT	1	LS	826.00	6-9	826.00			+	37	-	t	9 64
	Irrigation								-			t	9
57	4" Irrigation Main & Fittings	35	LF	43.60	€A	1,526.00	35.00	35	35.00 \$	1 526 00	6	,	6
28	4" Gate Valve	2	EA	736.00	S	1,472.00	2.00	2	-	1 472 00	+	T	9 64
29	Connect to Existing System	-	TS	639.00	69	639.00	1.00		-	639.00	9 64		9 64
09	Main Line Drain	-	EA	1100.00	€⁄)	1,100.00	1.00		-	1 100 00	+-	t	9 64
61	Complete Fine Irrigation Design and Installation	_	LS	50700.00	S	50,700.00	1.00		+	50 700 00	+		9 64
62	Irrigation Sleeving	-	LS	6400.00	↔	6,400.00	1.00		-	6.400.00	64		9 64
	Landscaping								+-		+	T	
63	Amended Topsoil	1130	CY	27.50		31,075.00	1,130.00	1.130.00	\$ 90	31.075.00	v		
25	Lawn	33179	SF	0.51		16,921 29	33,179,00	33 179 00	+-	16 921 29	+		9 6
65	Tres	98	EA	743.00		63.898.00	86.00	86.00	-	63 808 00	+	T	9 6
99	Flowering plants in Planter Pots	-	LS	7100.00		7 100 00	1 00	3	+	7 100 00	-	1	A .
29	Trash Reception	Ξ	EA	1900.00	ı	20 900 00	11.00	11.00	-	00.000.00			A 6
89	Benches	Ξ	EA	3300.00		36,300,00	11 00	11.00	-	36 300 00	A 6	1	A 6
69	Planter Pots	22	EA	2100.00	\$	46 200 00	22.00	22.00	-	76,200,00		1	A 6
70	Tree Grates	22	EA	5100.00		17 200 00	22.00	22.00	-	112,200,00	-	,	A
	Street Signs and Lighting						00:77	77.	-	112,200.00	A		20
7.1	Street Sinns												

7.7	Removal of Existing Type II & III Barricades	<u>,</u>	rs	1600.00	1,600,00	100	1 00	\$ 1 600 00 E	6	
73	Street Lights - 25 ft Pole with Class A Fixture	2	EA	5700 00	\$ 11,400.00	2 00	2 00	11 400 00 6	9 6	
74	Street Lights - 30 ft Pole with Class B Fixture	5	EA	7000 00	\$ 35,000.00	5.00	00.5	9 6	9 6	
75	Street Light Electrical Conduit & Wire	-	rs	36000.00	\$ 36,000,00	1.00	00 1	36,000,00	9 6	
92	Powder Coat Street Signs & Poles	1	LS	2800.00	\$ 2,800.00	1 00	1.00	l	9 6	
77	Pavement Stiping and Symbols	1	LS	T		100	100	7,000.00	A 6	
78	Obliterate Existing Pavement Stripe	400	LF	T		400 00	400 00	4,700.00 \$	A 6	
	Change Order #1				64			900.00	A 6	
79	Install Additional Stop Bars	-	S	\$ 500.00	\$ 500.00	1 00	001	9 6 00 003	A 6	
	Change Order #2							200.000	A	
80	Two Wire Up-Grade, Landscape Sprinklers	-	rs	\$ 18,175.89	\$ 18.175.89	1 00	100	00 175 00 0	6	
81	Contractor Markup		rs	\$ 908.79	62 806 \$	1.00	1.00	006 70	1	*
	Change Order #3						207	200.17	^	*)
82	Concrete Washout Removal	-	ST	\$ 1,440.00 \$	5 1.440.00	1 00	001	00 07 1 440 00 0	6	
83	GPS Model Modifications Do to Design Changes	-	rs	\$ 1,000.00		1.00	_	000000	A 6	£
	Change Order #4						-	1,000,00	,	*
84	Pipe Modifications and Additional Work	-	S7	\$ 72,764.35 \$	5 72.764.35	1 00	1 00	\$ 77.764.35 G	6	
	Change Order #5						20.1	12,101,53	A	27
85	Warm Springs Bike Lane Obliteration and Restriping	-	S	\$ 1,916.66	\$ 1.916.66	1.00	1001	\$ 1016.66	6	
98	Contractor-Markup	~	rs	\$ 95.83	\$ 95.83	1.00	1:00		9 64	
				J1	6			6	9 6	

Total Contract

\$ 2,166,795.81

Previous Payment This Payment This
Payment Est (w/o Estimate (w/
(no retention) Retention) Retention)
\$ 2,160,567,81 \$ 6,174,00 \$ 5,865.30

BARBER VALLEY DEVELOPMENT INC

877 W MAIN ST STE 501 BOISE, ID 83702-6018

COLUMBIA BANK 877.272.3678 columbiabank.com

8056 34-827/1251 CHECK ABMOR

12/13/2021

PAY TO THE ORDER OF_ Central Paving Co., Inc.

**110,564.17

Central Paving Co., Inc. PO Box 15010 Boise, Idaho 83715

DOLLARS

O,

MEMO

Date

12/6/2021

Haystack 19045 CID Pay App #10 final

AUTHORIZED SIGNATURE

#OOBO56#

BARBER VALLEY DEVELOPMENT INC

8056

Central Paving Co., Inc.

Bill

Type Reference

Original Amt. Balance Due 110,564.17 110,564.17

12/13/2021

Discount

Payment 110,564.17

110,564.17 **Check Amount**

Columbia/ICB- CHEC Haystack 19045 CID Pay App #10 final

110,564.17

BARBER VALLEY DEVELOPMENT INC

8056

Central Paving Co., Inc.

Date Type Reference 12/6/2021

Bill

Original Amt. 110,564.17 Balance Due 110,564.17 12/13/2021 Discount

Payment 110,564.17

Check Amount 110,564.17

FOR PROFESSIONAL SERVICES

THIS	IS AN AGREEMENT effective as of	November 18, 2019	("Effective	ve Date") between
Barber	Valley Development			("Owner")
and	RiveRidge Engineering Company		entre de la companya	("Engineer")
Engine	eer agrees to provide the services describe	d below to Owner for	SP-01 Area SW12 and SW13 Construction Management Services	("Project").
.				

Description of Engineer's Services:

The SP-01 Areas SW12 and SW13 Project Construction Management Scope of Services is made a part of this agreement and is attached.

Owner and Engineer further agree as follows:

1.01 Basic Agreement

A. Engineer shall provide, or cause to be provided, the services set forth in this Agreement, and Owner shall pay Engineer for such Services as set forth in Paragraph 9.01.

2.01 Payment Procedures

- A. Preparation of Invoices. Engineer will prepare a monthly invoice in accordance with Engineer's standard invoicing practices and submit the invoice to Owner.
- B. Payment of Invoices. Invoices are due and payable within 30 days of receipt. If Owner fails to make any payment due Engineer for services and expenses within 30 days after receipt of Engineer's invoice, the amounts due Engineer will be increased at the rate of 1.0% per month (or the maximum rate of interest permitted by law, if less) from said thirtieth day. In addition, Engineer may, without liability, after giving seven days written notice to Owner, suspend services under this Agreement until Engineer has been paid in full all amounts due for services, expenses, and other related charges. Payments will be credited first to interest and then to principal.

3.01 Additional Services

- A. If authorized by Owner, or if required because of changes in the Project, Engineer shall furnish services in addition to those set forth above.
- B. Owner shall pay Engineer for such additional services as follows: For additional services of Engineer's employees engaged directly on the Project an amount equal to the cumulative hours charged to the Project by each class of Engineer's employees times standard hourly rates for each applicable billing class; plus reimbursable expenses and Engineer's consultants' charges, if any.

4.01 Termination

A. The obligation to provide further services under this Agreement may be terminated:

For cause.

a. By either party upon 30 days written notice in the event of substantial failure by the other party to perform in accordance with the Agreement's terms through no fault of the terminating party.

b. By Engineer:

 upon seven days written notice if Engineer believes that Engineer is being requested by Owner to furnish or perform services contrary to Engineer=s responsibilities as a licensed professional; or

- upon seven days written notice if the Engineer's services for the Project are delayed or suspended for more than 90 days for reasons beyond Engineer's control.
- Engineer shall have no liability to Owner on account of such termination.
- c. Notwithstanding the foregoing, this Agreement will not terminate as a result of a substantial failure under paragraph 4.01, A.1.a if the party receiving such notice begins, within seven days of receipt of such notice, to correct its failure and proceeds diligently to cure such failure within no more than 30 days of receipt of notice; provided, however, that if and to the extent such substantial failure cannot be reasonably cured within such 30 day period, and if such party has diligently attempted to cure the same and thereafter continues diligently to cure the same, then the cure period provided for herein shall extend up to, but in no case more than, 60 days after the date of receipt of the notice.
- 2. For convenience, by Owner effective upon the receipt of notice by Engineer.
- B. The terminating party under paragraphs 4.01.A.1 or 4.01.A.2 may set the effective date of termination at a time up to 30 days later than otherwise provided to allow Engineer to demobilize personnel and equipment from the Project site, to complete tasks whose value would otherwise be lost, to prepare notes as to the status of completed and uncompleted tasks, and to assemble Project materials in orderly files.

5.01 Controlling Law

A. This Agreement is to be governed by the law of the state in which the Project is located.

6.01 Successors, Assigns, and Beneficiaries

A. Owner and Engineer each is hereby bound and the partners, successors, executors, administrators, and legal representatives of Owner and Engineer (and to the extent permitted by paragraph 6.01.B the assigns of Owner and Engineer) are hereby bound to the other party to this Agreement and to the partners, successors, executors, administrators, and legal representatives (and said assigns) of such other party, in respect of all 2 of 4

covenants, agreements, and obligations of this Agreement.

B. Neither Owner nor Engineer may assign, sublet, or transfer any rights under or interest (including, but without limitation, moneys that are due or may become due) in this Agreement without the written consent of the other, except to the extent that any assignment, subletting, or transfer is mandated or restricted by law. Unless specifically stated to the contrary in any written consent to an assignment, no assignment will release or discharge the assignor from any duty or responsibility under this Agreement.

7.01 General Considerations

- A. The standard of care for all professional engineering and related services performed or furnished by Engineer under this Agreement will be the care and skill ordinarily used by members of the subject profession practicing under similar circumstances at the same time and in the same locality. Engineer makes no warranties, express or implied, under this Agreement or otherwise, in connection with Engineer's services. Engineer and its consultants may use or rely upon the design services of others, including, but not limited to, contractors, manufacturers, and suppliers.
- B. Engineer shall not at any time supervise, direct, or have control over any contractor's work, nor shall Engineer have authority over or responsibility for the means, methods, techniques, sequences, or procedures of construction selected or used by any contractor, for safety precautions and programs incident to a contractor's work progress, nor for any failure of any contractor to comply with laws and regulations applicable to contractor's work.
- C. Engineer neither guarantees the performance of any contractor nor assumes responsibility for any contractor's failure to furnish and perform its work in accordance with the contract between Owner and such contractor.
- D. Engineer shall not be responsible for the acts or omissions of any contractor, subcontractor, or supplier, or of any contractor's agents or employees or any other persons (except Engineer's own employees) at the Project site or otherwise furnishing or performing any of construction work; or for any decision made on interpretations or clarifications of the construction contract given by Owner without consultation and advice of Engineer.
- E. The general conditions for any construction contract documents prepared hereunder are to be the "Standard General Conditions of the Construction

EJCDC E-520 Short Form of Agreement Between Owner and Engineer for Professional Services Copyright © 2002 National Society of Professional Engineers for EJCDC. All rights reserved.

Contract" as prepared by the Engineers Joint Contract Documents Committee (No. C-700, 2002 Edition).

- F. All design documents prepared or furnished by Engineer are instruments of service, and Engineer retains an ownership and property interest (including the copyright and the right of reuse) in such documents, whether or not the Project is completed.
- 1. Owner shall have the right to copies (hard copies and/or electronic copies) of all final maps, elevations, grade and related work (the "Finished Work"), which is exclusive to this Project and has been paid for by Owner, including any copying costs. The Finished Work shall be the property of Owner, including the right to be used by Owner whether or not Engineer finishes the Project. If the Project is not completed by Engineer, Owner shall execute a Release of Liability, in a form satisfactory to Engineer, prior to the transfer of any copies of the Finished Work.
- G. To the fullest extent permitted by law, Owner and Engineer (1) waive against each other, and the other's employees, officers, directors, agents, insurers, partners, and consultants, any and all claims for or entitlement to special, incidental, indirect, or consequential damages arising out of, resulting from, or in any way related to the Project, and (2) agree that Engineer's total liability to Owner under this Agreement shall be limited to \$100,000 or the total amount of

compensation received by Engineer, whichever is greater.

H. The parties acknowledge that Engineer's scope of services does not include any services related to a Hazardous Environmental Condition (the presence of asbestos, PCBs, petroleum, hazardous substances or waste, and radioactive materials). If Engineer or any other party encounters a Hazardous Environmental Condition, Engineer may, at its option and without liability for consequential or any other damages, suspend performance of services on the portion of the Project affected thereby until Owner: (i) retains appropriate specialist consultants or contractors to identify and, as appropriate, abate, remediate, or remove the Hazardous Environmental Condition; and (ii) warrants that the Site is in full compliance with applicable Laws and Regulations.

8.01 Total Agreement

A. This Agreement (consisting of pages 1 to 4 inclusive together with any expressly incorporated appendix), constitutes the entire agreement between Owner and Engineer and supersedes all prior written or oral understandings. This Agreement may only be amended, supplemented, modified, or canceled by a duly executed written instrument.

9.01 Payment (Lump Sum Contract)

A. Using the procedures set forth in paragraph 2.01, Owner shall pay Engineer as follows:

The Following is considered a Lump Sum Contract for:

1. Construction Management Services

\$ 34,000.00

Total estimated compensation

\$ 34,000.00

The Engineer reserves the right to review and modify, if necessary, estimated fees following the approval of a final concept plan by the Owner. The Engineer may alter the distribution of compensation between individual tasks of the work noted herein to be consistent with services actually rendered, but shall not exceed the total estimated compensation amount unless prior approval is given in writing by the Owner.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement, the Effective Date of which is indicated on page 1.

OWNER:	Barber Valley Development	ENGINEER:	RiveRidge Engineering Company
Ву:	Dosg-Folyler, Lewis Ltd.	Ву:	David G. Powell, P.E.
Title:	President	Title:	Corporate Vice President
Date Signed:	Nov. 19,2019	Date Signed:	Nov. 18, 2019
Acknowledged:	Barber Valley Development		
Address for giving	g notices:	Address for givi	ng notices:
LeNir Ltd		RiveRidge Engir	neering
4940 E. Mill Stati	on Drive, Suite 101-B	2447 S. Vista A	venue
Boise, ID 83716		Boise, ID 83703	5



November 18, 2019

Doug Fowler LeNir LTD 4940 E. Mill Station Dr. Suite 101-B Boise, ID 83716

RE: SP-01 Areas SW12 and SW13

Construction Management Contract

Dear Mr. Fowler:

RiveRidge Engineering Company is pleased to submit this Scope of Services and associated Fee Structure for the Construction Management Services associated with the SP-01 Areas SW12 and SW13 construction project as depicted on the attached drawing. Based on anticipated schedule of construction, the CM services are expected to commence in July, 2020 and continue through June of 2021 (30 week period) with a break from November 2020 through to March of 2021.

Task 1 - Construction Bid Coordination and Award for improvements.

- 1. RiveRidge will work with legal for the preparation of the CID Bid document to accompany improvement documents for contractor bidding purposes.
- 2. RiveRidge will coordinate with team and submit all documents to Boise City Engineer for review and verification that documents and process meets CID eligibility requirements.
- 3. RiveRidge Engineering will distribute plans and coordinate with Barber Valley Development and contractors for the evaluation and costing of the intended construction.
- 4. RiveRidge will evaluate all bids received for compliance with the bid requirements and advertising and coordinate with Barber Valley Development, Contractor and City of Boise for execution of Project Contract and scheduling of construction.
- 5. RiveRidge Engineering will oversee all construction and document all work efforts, clarifications, work directives, change orders for final project completion.



Task 2 - Site Construction of Improvements.

RiveRidge Engineering Company will provide the following services related to construction:

- 1. Distribute plans to agencies, utilities and contractors that will be working on the project based on final approved plans and specifications.
- 2. Schedule, attend and assist with the ACHD and Boise City Pre-construction Conferences
- 3. Construction management services, including site observation, coordination with owner, agencies, contractors and sub-consultants and meetings to verify construction is being accomplished in accordance with the approved plans, specifications and timing.
- 4. Review and recommendation to Owner for payment of monthly contractor payment requests to be approved by Owner prior to payment.
- 5. Review and preparation of construction work directives and construction change orders to be reviewed and approved by Owner, prior to authorization of change.
- 6. On site visits for substantial and final completion inspections.
- 7. Coordination with owner, contractor and agencies for the timely completion of all punch list work at end of project to final agency acceptance.
- 8. Final project close-out to include evaluation of project impacts from change orders and directives, payment of retainage to contractor and final payments to contractor upon final agency and owner approval and acceptance of all improvements.

Construction Management Subtotal

\$34,000.00

Exclusions: The following services are specifically excluded from this Scope and considered to be provided, if required, by others:

- 1. Geotechnical and testing services
- 2. Legal services
- 3. Application fees associated with plan submittals, permits and approvals
- 4. Landscape and fine irrigation design, plan submittal and approvals
- 5. Any task not specifically identified above

This Construction Management Scope of Services is submitted for your review and approval. Attached, for your execution, is an agreement that is tied to this scope once you have approved this document. I am available to discuss any questions you might have regarding the scope, timeline and costs.

Sincerely,

David G. Powell, P.E.

Now DI Jovell

Project Manager

RiveRidge Haystack Subdivision No. 1 (SW 12 & 13)

Inovice Date	S S	Amount	Chock Number	Date Daid		Total
movice Date	200	Billed	Cilech Mailige		An	Amount Paid
00001711	7007		C C	0000	٠,	7 2 1
2/6/2020	19045 \$	-,	9020	5/14/2020 \$	Λ -	5,481.8/
7/10/2020	19045	\$ 2,400.00	6145	7/31/2020	\$	2,400.00
7/10/2020	19045	\$ 5,630.00	6179	9/10/2020	\$	5,630.00
9/9/2020	19045	\$ 3,100.00	6205	10/15/2020	\$	3,100.00
10/8/2020	19045	\$ 5,412.50	6252 & 6267	11/12 & 12/10	\$	5,412.50
11/9/2020	19045	\$ 3,721.30	6286	12/15/2020	\$	3,721.30
12/7/2020	19045	\$ 3,700.00	6324	12/28/2020	\$	3,700.00
1/6/2021	19045	\$ 5,600.00	9360	2/11/2021	\$	5,600.00
2/8/2021	19045	\$ 5,775.00	6258	3/15/2021	\$	5,775.00
3/10/2021	19045	\$ 4,725.00	6309	4/12/2021	\$	4,725.00
4/8/2021	19045	\$ 4,375.00	6351	5/12/2021	\$	4,375.00
5/10/2021	19045	\$ 4,883.15	6387	6/8/2021	\$	4,883.15
6/8/2021	19045	\$ 2,900.00	6414	7/12/2021	S	2,900.00
7/6/2021	19045	\$ 3,850.00	6442	8/13/2021	\$	3,850.00
8/13/2021	19045	\$ 875.00	6477	9/8/2021	S	875.00

\$ 62,428.82

\$ 62,428.82

Total:

Date: May 6, 2020 Job No. 19045

Description: Dallas Harris Estates SW12 and SW13 - CONSTRUCTION MANAGEMENT SERVICES

rescrip	otion: Dallas Harris Estates SW12 and	SW13 - CONSTRUCTION MANAGEMEN	IT SERVICES	
	PROFESSIONAL SERVICES		AMOUNT	BALANCE
	Professional engineering services with agreement	s rendered in April, 2020 in accordance		
	Construction management related Project Manager Project Engineer EIT	1 to Knife River earthwork of SW13 23.0 Hours @ \$ 160.00 0.0 Hours @ \$ 125.00 0.0 Hours @ \$ 95.00	\$ 3,680.00 \$ - \$ -	\$ 3,680.00
	Expenses Erosion Control Permit Rough Grading Permit		\$ 673.97 \$ 1,127.90	\$ 1,801.87
				Ψ 1,601.0
		Total Due This Period:		\$ 5,481.87
		Payments/Credits: Outstanding Invoice:		\$ -
	TOTAL AMOUNT DUE:			\$ 5,481.87

PAYMENT TERMS:

All account balances not paid in full within one month of the billing date are subject to an interest charge at a rate of eighteen (18) percent (%) per annum compounded monthly until paid in full. Payments received shall be credited first to accrued interest and then to principal. All costs or fees incurred to collect overdue account balances shall be added to the principal portion of the account balance.

Am 2000

BOISE, ID 83716

Columbia Bank 521 12TH AVE. SOUTH

6050

34-827/1251

5/14/2020

PAY TO THE ORDER OF _

RiveRidge

**29,013.79

DOLLARS

RiveRidge 2447 S. Vista Ave. Boise, Idaho 83705

MEMO

Date

5/14/2020

THE BACK OF THIS DOCUMENT CONTAINS CHECK SECURITY WATERMARK AND COIN REACTIVE INK

"OOGO 50"

BARBER VALLEY DEVELOPMENT, INC.

RiveRidge Bill Bill Bill

Bill

5/14/2020 5/14/2020 5/14/2020 5/14/2020 Bill 5/14/2020 Bill 5/14/2020 Bill

Type Reference

19045 SW 12 & SW 13

Original Amt 5,481.87

Balance Due 5,481.87

5/14/2020

Check Amount

Discount

6050

Payment 5.481.87

Columbia/ICB- CHEC

29,013.79

BARBER VALLEY DEVELOPMENT, INC.

RiveRidge

Date 5/14/2020 Bill 5/14/2020 Bill 5/14/2020 Bill

5/14/2020 Bill 5/14/2020 Bill 5/14/2020 Bill 5/14/2020 Bill

Type Reference 19045 SW 12 & SW 13

Original Amt 5,481.87

5/14/2020 Balance Due Discount 5,481.87

Check Amount

6050

Payment 5,481,87

Columbia/ICB- CHEC

29,013.79

Date: July 10, 2020 Job No. 19045

Description: Dallas Harris Estates SW12 and SW13 - CONSTRUCTION MANAGEMENT SERVICES

ption: Dallas Harris Estates SW12 and SW PROFESSIONAL SERVICES			AMOUNT	BALANCE
Professional engineering services ren	dered in June, 2020 in acco	ordance		
with agreement	·			
1 Construction management related to				ľ
Project Manager	15.0 Hours @ \$	160.00	\$ 2,400.00	
Project Engineer EIT	0.0 Hours @ \$	125.00	\$	
EII	0.0 Hours @ \$	95.00	\$ -	\$ 2,400.
				\$ 2,400.
-				
1				
1				
1				
				1
				1
	Total Du	e This Period:		\$ 2,400.
		nents/Credits:		\$ -
	Outstar	ding Invoice:		\$ -
TOTAL AMOUNT DUE:				\$ 2,400.0

PAYMENT TERMS:

All account balances not paid in full within one month of the billing date are subject to an interest charge at a rate of eighteen (18) percent (%) per annum compounded monthly until paid in full. Payments received shall be credited first to accrued interest and then to principal. All costs or fees incurred to collect overdue account balances shall be added to the principal portion of the account balance.

113/20 113/20

BOISE, ID 83716

Columbia Bank 521 12TH AVE, SOUTH

6145

34-827/1251

7/31/2020

AY TO THE ORDER OF WZ514615-04-20

RiveRidge

**5,192.29

RiveRidge

2447 S. Vista Ave. Boise, Idaho 83705 **DOLLARS**

MEMO

19045 SW 12 & 13

#OO6145#

BARBER VALLEY DEVELOPMENT, INC. RiveRidge

Date Type Reference

7/31/2020 Bill 7/31/2020 Bill 7/31/2020 Bill

Original Amt.

2,400.00

Balance Due 2,400.00

Check Amount

7/31/2020

Discount

6145

Payment

2,400.00 5,192.29

Columbia/ICB- CHEC

5,192.29

BARBER VALLEY DEVELOPMENT, INC. RiveRidge

Date 7/31/2020

Type Reference Bill

7/31/2020 Bill 7/31/2020 Bill

19045 SW 12 & 13

Original Amt.

2,400.00

Balance Due

2,400.00

Check Amount

7/31/2020

Discount

6145

Payment 2,400.00

5,192.29

Columbia/ICB- CHEC

5,192.29

Date: July 10, 2020 Job No. 19045

Description: Dallas Harris Estates SW12 and SW13 - CONSTRUCTION MANAGEMENT SERVICES

resemption.	Dallas Harris Estates SW12 and SW13 - CONSTRUCTIO PROFESSIONAL SERVICES	N MANA	GEMENT			241 42100
	Professional engineering services rendered in June, 2020 in	angordana	20	AMOUN	1 1	BALANCE
	with agreement					
1	Construction management related to Knife River earthwork					
	Project Manager 18.0 Hours @ Project Engineer 22.0 Hours @) \$ 1	60.00	\$ 2,880.		
	EIT 0.0 Hours @		25.00 95.00	\$ 2,750. \$	1	
	2.7. U.O Hours (ii	y w	93.00	\$	\$	5,630.0
		Due This			\$	5,630.00
		Payments/standing			\$	0
	TOTAL AMOUNT DUE:				\$	5,630.00

PAYMENT TERMS:

All account balances not paid in full within one month of the billing date are subject to an interest charge at a rate of eighteen (18) percent (%) per annum compounded monthly until paid in full. Payments received shall be credited first to accrued interest and then to principal. All costs of fees incurred to collect overdue account balances shall be added to the principal portion of the account balance.

8/13/2000

BOISE, ID 83716

Columbia Bank 521 12TH AVE. SOUTH

6179

34-827/1251

9/10/2020

FAY TO THE ORDER OF WZ514615-U4-2U

RiveRidge

**16,940.70

RiveRidge

2447 S. Vista Ave. Boise, Idaho 83705 **DOLLARS**

MEMO

6179

#006179#

BARBER VALLEY DEVELOPMENT, INC. RiveRidge

Date 9/10/2020 9/10/2020

9/10/2020

9/10/2020

Bill Bill

Bill

Bill

Type Reference SW 12 &13 19045 Original Amt

5,630.00

Balance Due

5,630.00 **Check Amount**

9/10/2020

Discount

5,630.00

Payment

16,940.70

Columbia/ICB- CHEC

16,940.70

BARBER VALLEY DEVELOPMENT, INC. RiveRidge

Date 9/10/2020 Type Reference Bill

9/10/2020 Bill 9/10/2020 Bill 9/10/2020 Bill

SW 12 &13 19045

Original Amt.

5,630.00

Balance Due

5,630.00

Check Amount

9/10/2020

Discount

6179



16,940.70

Columbia/ICB- CHEC

16,940.70



Date: September 9, 2020 Job No. 19045

Description: Dallas Harris Estates SW12 and SW13 - CONSTRUCTION MANAGEMENT SERVICES

Description	PROFESSIONAL SERVICES PROFESSIONAL SERVICES	AMOUNT	BALANCE
	Professional engineering service rendered in August, 2020 per project contract.	- moorti	Di Militor
1	Project coordination, shop drawing review and construction management and inspection Project Manager 10.0 Hours @ \$ 160.00 Project Engineer 12.0 Hours @ \$ 125.00	\$ 1,600.00 \$ 1,500.00	\$ 3,100.00
	Total Due This Period: Payments/Credits:		\$ 3,100.00
	Outstanding Invoice(s) Subtotal:		\$ -
	TOTAL AMOUNT DUE:		\$ 3,100.00

PAYMENT TERMS:



BOISE, ID 83716

Columbia Bank 521 12TH AVE. SOUTH

6205

34-827/1251

10/15/2020

PAY TO THE ORDER OF _ WZ614615-04-20

RiveRidge

**46,849.89

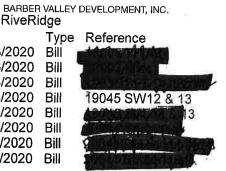
DOLLARS

RiveRidge 2447 S. Vista Ave. Boise, Idaho 83705

МЕМО

"OOG 205"

RiveRidge Date 10/13/2020 Bill 10/13/2020 Bill

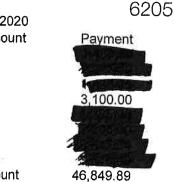




3,100.00

THE PROPERTY



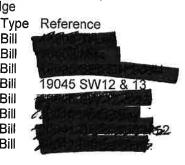


Columbia/ICB- CHEC

46,849.89

BARBER VALLEY DEVELOPMENT, INC. RiveRidge Date 10/13/2020 Bill 10/13/2020 Bill 10/13/2020 Bill 10/13/2020 Bill 10/13/2020 Bill 10/13/2020 Bill 10/13/2020 Bill

10/13/2020 Bill









Columbia/ICB- CHEC

46,849.89



Date: October 8, 2020 Job No. 19045

Description: Dallas Harris Estates SW12 and SW13 - CONSTRUCTION MANAGEMENT SERVICES

		Total Due This Pe	riod:	\$ 5,412.50
				V
				\$ 275.00
	Project Blue Prints		\$ 275.00	
2.	Expenses			
	_		4 3,5 5 1.12	\$ 5,137.50
	Project Manager Project Engineer	20.0 Hours @ \$ 160 15.5 Hours @ \$ 125		
1,	Project coordination, construction management Project Manager	00.011	00 000000	
	70 W T		1	1
	Professional engineering service rendered in September	, 2020 per project contract.	AMOUNT	

PAYMENT TERMS:



BOISE, ID 83716

Columbia Bank 521 12TH AVE. SOUTH NAMPA, ID 83651

6252

34-827/1251

11/12/2020

RiveRidge Y TO THE **5,412.00 ORDER OF WZ614615-04-20 DOLLARS RiveRidge 2447 S. Vista Ave. Boise, Idaho 83705 MEMO 19045 CID SW 12 & 13 #OOG 25 2# BARBER VALLEY DEVELOPMENT, INC. 6252 RiveRidge 11/12/2020 Date Type Reference Original Amt. Balance Due Discount Payment 11/12/2C20 3ill 5,412.00 5,412.00 5,412.00 Check Amount 5,412.00

Columbia/ICE- CHEC 19045 CID SW 12 & 13

5,412.00

BARBER VALLEY DEVELOPMENT, INC. 6252 RiveRidge 11/12/2020 Date Type Reference Original Amt. **Balance Due** Discount Payment 11/12/2020 Bill 5,412.00 5,412.00 5,412.00 **Check Amount** 5,412.00

Columbia/ICB- CHEC 19045 CID SW 12 & 13

5,412.00

BOISE, ID 83716

G Columbia Bank 521 12TH AVE. SOUTH NAMPA, ID 83651

6267

34-827/1251

12/10/2020

PAY TO THE ORDER OF _

RiveRidge

**0.50

RiveRidge 2447 S. Vista Ave. Boise, Idaho 83705 DOLLARS

6267

МЕМО

Date

balance due #19045 10-8-2020 CID

#006 26 7#

BARBER VALLEY DEVELOPMENT, INC.

RiveRidge

Type Reference 12/10/2020 Bill

Original Amt. 0.50

Balance Due 0.50

12/10/2020

Discount

Payment 0.50

Check Amount

0.50

Columbia/ICB- CHEC balance due #19045 10-8-2020 CID

0.50

BARBER VALLEY DEVELOPMENT, INC.

RiveRidge

Date

Type Reference

12/10/2020 Bill

Original Amt. 0.50

Balance Due 0.50

12/10/2020

Discount

Check Amount

6267

Payment 0.50

0.50

Columbia/ICB- CHEC

balance due #19045 10-8-2020 CID

0.50

_R2206ASLN1

TEPLY & ASSOCIATES (208) 429-8282

PRINTED IN U.S.A.



Date: November 9, 2020 Job No. 19045

Description: Dallas Harris Estates SW12 and SW13 - CONSTRUCTION MANAGEMENT SERVICES

ion:	PROFESSIONAL SERV	ICES	RUCTION MANAGEMI	ENI SERVICES	AMOUNT	BALANC
			ber, 2020 per project contr	act.	AWOONT	BALAIVE
1.	Project coordination, cont Project Mar Project Eng	nager	construction management 8.0 Hours (17.5 Hours (@ \$ 160.00	\$ 1,280.00 \$ 2,187.50	\$ 3,467.5
2.	Expenses Project Blue	e Prints			\$ 253.80	\$ 253.8
			Tots	al Due This Perioc Payments/Credits		\$ 3,721.3
			Outstanding I	nvoice(s) Subtota	:	\$ -
			TOTAL	L AMOUNT DUE		\$ 3,721.30

PAYMENT TERMS:



BOISE, ID 83716

Columbia Bank 521 12TH AVE. SOUTH

6286

34-827/1251

12/15/2020

PAY TO THE ORDER OF

RiveRidge

"*3,721.30

RiveRidge 2447 S. Vista Ave. Boise, Idaho 83705 **DOLLARS**

MEMO

19045 SW 12 & 13 CID

"OOG 286"

BARBER VALLEY DEVELOPMENT, INC. RiveRidge

12/15/2020 Discount

6286

Date Type Reference 12/14/2020 Bill

Original Amt. 3,721.30 Balance Due 3,721.30

Check Amount

Payment 3,721.30 3,721.30

Columbia/ICB- CHEC 19045 SW 12 & 13 CID

3,721.30

BARBER VALLEY DEVELOPMENT, INC.

RiveRidge

Date

Type Reference 12/14/2020 Bill

Original Amt. 3,721.30

Balance Due 3,721.30

12/15/2020 Discount

Check Amount

6286 **Payment**

3,721.30 3,721.30

Columbia/ICB- CHEC 19045 SW 12 & 13 CID

3,721.30

LR2208ASLN1

TEPLY & ASSOCIATES (208) 428-8262

PRINTED IN U.S.A.



Date: December 7, 2020 Job No. 19045

Description: Dallas Harris Estates SW12 and SW13 - CONSTRUCTION MANAGEMENT SERVICES

Description.	Dallas Harris Estates SW12 and SW13 - CONSTRUCTION MAN PROFESSIONAL SERVICES	NAGEMENT SE	ERVICES	AMOUNT	BALANCE
	Professional engineering service rendered in November, 2020 per pr	roject contract		AMOUNT	BALANCE
1		Hours @	\$ 160.00 \$ 125.00	\$ 3,200.00 \$ 500.00	\$ 3,700.00
	×				
			This Period: ents/Credits:		\$ 3,700.00
	Outst	anding Invoice	(s) Subtotal:		\$ -
		TOTAL AMO	OUNT DUE:		\$ 3,700.00

PAYMENT TERMS:

BOISE, ID 83716

Columbia Bank 521 12TH AVE. SOUTH

6324

34-827/1251

12/28/2020

PAY TO THE ORDER OF

RiveRidge

**3,700.00

DOLLARS

RiveRidge 2447 S. Vista Ave.

Boise, Idaho 83705

MEMO

CID SW 12 & 13-19045

#OOG324#

BARBER VALLEY DEVELOPMENT, INC. RiveRidge

Date Type Reference 12/28/2020 Bill

Original Amt. 3,700.00 Balance Due 3,700.00

12/28/2020 Discount

Check Amount

6324

Payment 3,700.00 3,700.00

Columbia/ICB- CHEC CID SW 12 & 13-19045

3,700.00

BARBER VALLEY DEVELOPMENT, INC.

RiveRidge

Date Type Reference 12/28/2020 Bill

Original Amt. 3,700.00 **Balance Due** 3,700.00 12/28/2020

Discount

Check Amount

Payment

6324

3,700.00 3,700.00

Columbia/ICB- CHEC CID SW 12 & 13-19045

3,700.00

LR2206ASLN1

TEPLY & ASSOCIATES (208) 429-8282

PRINTED IN U.S.A.



Date: January 6, 2021 Job No. 19045

Description: Dallas Harris Estates SW12 and SW13 - CONSTRUCTION MANAGEMENT SERVICES

Descript	tion: I	Dallas Harris Estates SW12 and SW13 - CONSTRUC	TION MANAGEMENT	SERVICES		
	P	ROFESSIONAL SERVICES			AMOUNT	BALANCI
		rofessional engineering service rendered in December, roject coordination, contract review and routing, const Project Manager	ruction management 35,0 Hours @	\$ 160.00	\$ 5,600.00	
		Project Engineer	0.0 Hours @	\$ 125.00	\$ -	
						\$ 5,600.0
				e This Period: ments/Credits:		\$ 5,600.00
			Outstanding Invoice	cc(s) Subtatal		s -
			TOTAL AM	IOUNT DUE:		\$ 5,600.00

PAYMENT TERMS:

BOISE, ID 83716

(B) Columbia Bank 521 12TH AVE, SOUTH NAMPA, ID 83651

6360

34-827/1251

2/11/2021

PAY TO THE ORDER OF.

RiveRidge

**5,600.00

DOLLARS

RiveRidge

2447 S. Vista Ave. Boise, Idaho 83705

6360

Date

MEMO

19045 CID sW 12 & 13 Haystack

#OO6360#

BARBER VALLEY DEVELOPMENT, INC.

RiveRidge

2/10/2021

Type Reference

Original Amt. 5,600.00 **Balance Due** 5,600.00

2/11/2021

Discount

Payment 5,600.00

Check Amount

5,600.00

Columbia/ICB- CHEC 19045 CID sW 12 & 13 Haystack

5,600.00

6360

BARBER VALLEY DEVELOPMENT, INC.

RiveRidge

Date

2/10/2021 Bill

Type Reference

Original Amt. 5,600.00 **Balance Due** 5,600.00 2/11/2021

Discount

Payment 5,600.00

Check Amount

5,600.00

Columbia/ICB- CHEC 19045 CID sW 12 & 13 Haystack

5,600.00



Date: February 8, 2021 Job No. 19045

Description: Haystack Subdivision No. 1 - CONSTRUCTION MANAGEMENT SERVICES

	Haystack Subdivision No. 1 - CONSTRUCTION MANAGEN PROFESSIONAL SERVICES			AMOUNT	BALANC
	Professional engineering service rendered in January, 2021 per p	project contract.		23.73 3.11	
1.	Project coordination, contract review and routing, construction is	management			
	Project Manager	33.0 Hours @	\$ 175.00	\$ 5,775.00	
	Project Engineer	0.0 Hours @	\$ 125.00	\$ -	
					\$ 5,775.0
V.					
		Total Du	e This Period:		\$ 5,775.0
			nents/Credits:		
	Ou	utstanding Invoic	e(s) Subtotal:	ŀ	\$ -
		TOTAL AND	OTIME DUE		A 5 775 0
		TUTAL AM	OUNT DUE:		\$ 5,775.00

PAYMENT TERMS:



258 COLUMBIA BANK 877.272.3678 columbiabank.com 34-827/1251 BARBER VALLEY DEVELOPMENT INC GCHECK ARMOR 877 W MAIN ST STE 501 3/15/2021 BOISE, ID 83702-6018 RiveRidge **5,775.00 PAY TO THE ORDER OF_ **DOLLARS** RiveRidge 2447 S. Vista Ave. Boise, Idaho 83705 0 **МЕМО** 19045 Sub 1 Const. Mgmt. CID AUTHORIZED SIGNATURE 11º00625811º 6258 **BARBER VALLEY DEVELOPMENT INC** 3/15/2021 RiveRidge Date Type Reference Original Amt. **Balance Due** Discount Payment 5,775.00 5,775.00 5,775.00 3/1/2021 Bill **Check Amount** 5,775.00 5,775.00 Columbia/ICB- CHEC 19045 Sub 1 Const. Mgmt. CID **BARBER VALLEY DEVELOPMENT INC** 6258 RiveRidge 3/15/2021 Date Type Reference Original Amt. **Balance Due** Discount Payment 5,775.00 3/1/2021 5,775.00 5,775.00 Bill 5,775.00 Check Amount 5,775 00

Columbia/ICB- CHEC 19045 Sub 1 Const. Mgmt. CID



Date: March 10, 2021 Job No. 19045

scription: Haystack Subdivision No. 1 - CONSTRUCTION M PROFESSIONAL SERVICES	IANAGEMENT SERVICES	43 (01)) [7]	DAT ANOT
Professional engineering service rendered in February	2021 per project contract	AMOUNT	BALANCI
Project Construction Management Services Project Manager Project Engineer		\$ 4,725.00 125.00 \$ -	\$ 4,725.0
	Total Due This Payments/		\$ 4,725.0
	Outstanding Invoice(s) S	ubtotal:	\$ =
	TOTAL AMOUN	T DUE:	\$ 4,725.00

PAYMENT TERMS:



BARBER VALLEY DEVELOPMENT INC 877 W MAIN ST STE 501 BOISE, ID 83702-6018

COLUMBIA BANK 877,272,3678 columbiabank.com

6309 34-827/1261 CHECK ARMOR

4/12/2021

*4,725.00

PAY TO THE ORDER OF_

RiveRidge 2447 S. Vista Ave. Boise, Idaho 83705

RiveRidge

DOLLARS

Ô

ē

MEMO

19045 Haystack Sub #1 CID

AUTHORIZED SIGNATURE

#PO6309#

BARBER VALLEY DEVELOPMENT INC

6309

RiveRidge Date

3/24/2021

Type Reference Bill

Original Amt. 4,725.00 **Balance Due** 4,725.00 4/12/2021 Discount

Payment 4,725.00

Check Amount

4,725.00

Columbia/ICB- CHEC 19045 Haystack Sub #1 CID 4,725.00

6309

BARBER VALLEY DEVELOPMENT INC

RiveRidge

Date

Type Reference 3/24/2021 Bill

Original Amt. 4,725.00 **Balance Due** 4,725.00 4/12/2021 Discount

Payment

Check Amount

4,725.00 4,725.00



Date: April 8, 2021 Job No. 19045

Description: Haystack Subdivision No. 1 - CONSTRUCTION MANAGEMENT SERVICES

PROFESSIO	NAL SERVICES				AMOUNT	BALANCE
Professional e	engineering service rendered in Marcl ruction Management Services	n, 2021 per		\$ 175.00	¢ 4 275 00	
	Project Manager Project Engineer		25.0 Hours @ 0.0 Hours @	\$ 175.00 \$ 125.00	\$ 4,375.00 \$ -	\$,4,375.00
				ue This Period: ments/Credits:		\$ 4,375.00
			Outstanding Invo	ice(s) Subtotal:		\$ -
			TOTAL A	MOUNT DUE:		\$ 4,375.00

PAYMENT TERMS:

COLUMBIA BANK 877.272.3678 columbiabank.com

6351

34-827/1251 CHECK ARMUR

BARBER VALLEY DEVELOPMENT INC

877 W MAIN ST STE 501 BOISE, ID 83702-6018

5/12/2021

PAY TO THE ORDER OF

RiveRidge

**4,375.00

RiveRidge

2447 S. Vista Ave. Boise, Idaho 83705 DOLLARS

MEMO

19045 Haystack SW 12 & 13 sub 1 CID

AUTHORIZED SIGNATURE

O)

Θ

MOD6351M

BARBER VALLEY DEVELOPMENT INC

6351

RiveRidge

Date Type Reference 4/29/2021 Bill

Original Amt. 4,375.00 Balance Due 4,375.00 5/12/2021 Discount

Payment

4,375.00

Check Amount

4,375.00

Columbia/ICB- CHEC

19045 Haystack SW 12 & 13 sub 1 CID

4.375.00

6351

BARBER VALLEY DEVELOPMENT INC

RiveRidge

Date

4/29/2021

Type Reference

Bill

Original Amt. 4,375.00

Balance Due 4,375.00 5/12/2021

Discount

Payment 4,375.00

Check Amount

4,375.00



Date: May 10, 2021 Job No. 19045

Description: Haystack Subdivision No. 1 - CONSTRUCTION MANAGEMENT SERVICES

Description:	Haystack Subdivision No. 1 - CONSTRUCTION MANAGEMENT SE	RVICES		
	PROFESSIONAL SERVICES		AMOUNT	BALANCE
	Professional engineering service rendered in April, 2021 per project cont Project Construction Management Services	urs @ \$ 175.00	\$ 2,800.00 \$ 1,000.00 \$ 1,052.00 \$ 28.40 \$ 2.75	\$ 3,800.00 \$ 1,083.15
		Total Due This Period: Payments/Credits:		\$ 4,883.15
		ling Invoice(s) Subtotal:		\$ -
	TO	OTAL AMOUNT DUE:		\$ 4,883.15

PAYMENT TERMS:



6387 COLUMBIA BANK 877,272:3676 columbiabank.com 34-827/1251 BARBER VALLEY DEVELOPMENT INC CHECK ARMOR 877 W MAIN ST STE 501 BOISE, ID 83702-6018 6/8/2021 RiveRidge PAY TO THE ORDER OF_ **4,883.15 **DOLLARS** RiveRidge 2447 S. Vista Ave. Boise, Idaho 83705 0 мемо Haystack Sub 1 19045 CID AUTHORIZED SIGNATURE BARBER VALLEY DEVELOPMENT INC 6387 RiveRidge 6/8/2021 Date Type Reference Original Amt. Balance Due Discount Payment 6/8/2021 19045 Bill 4,883.15 4,883.15 4,883.15 **Check Amount** 4,883.15 Columbia/ICB- CHEC Haystack Sub 1 19045 CID 4,883.15 **BARBER VALLEY DEVELOPMENT INC** 6387 RiveRidge 6/8/2021 Date Type Reference Original Amt. Balance Due Discount Payment 6/8/2021 19045 Bill 4,883.15 4,883.15 4,883.15 **Check Amount** 4,883.15

4,883.15

Columbia/ICB- CHEC

Haystack Sub 1 19045 CID

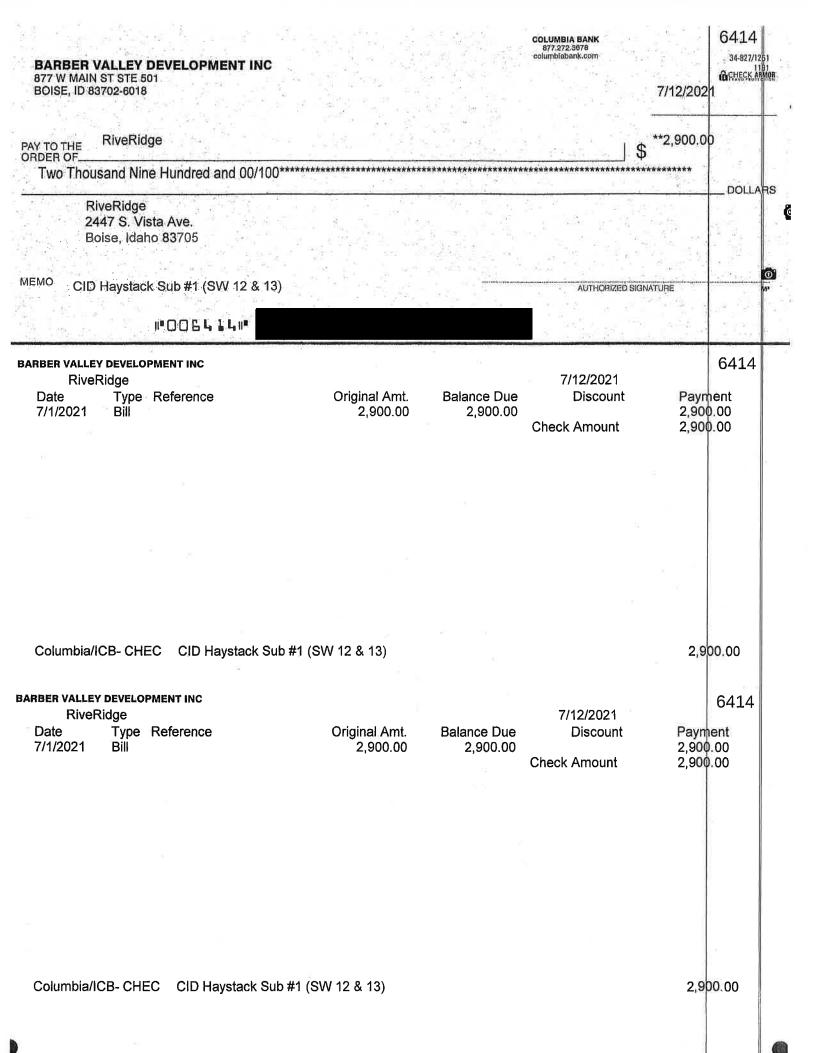


Date: June 8, 2021 Job No. 19045

Description: Havstack Subdivision No. 1 - CONSTRUCTION MANAGEMENT SERVICES

	PROFESSIONAL SERVICES			AMOUNT	BALANCE
	Professional engineering service rendered in May, 202	1 per project contract.			
1.1	Project Construction Management Services Project Manager Project Engineer	14.0 Hours @ 3.0 Hours @	\$ 175.00 \$ 150.00	\$ 2,450.00 \$ 450.00	\$ 2,900.00
			×		
			ne This Period; ments/Credits:		\$ 2,900.00
		Outstanding Invoi	ce(s) Subtotal:		\$ -
		TOTAL AN	MOUNT DUE:		\$ 2,900.00

PAYMENT TERMS:





Date: July 6, 2021 Job No. 19045

Description: Haystack Subdivision No. 1 - CONSTRUCTION MANAGEMENT SERVICES

PROFESSIONAL SERVICES PROFESSIONAL SERVICES	AMOUNT	BALANCE
Professional engineering service rendered in June, 2021 per project contract.		
1. Project Construction Management Services for June of 2021 are in excess of project budget amount due to the long term required sight inspections for the project. Project Manager 22.0 Hours @ \$ 175.00 Project Engineer 0.0 Hours @ \$ 150.00	\$ 3,850,00 \$ -	\$ 3,850.00
Total Due This Period: Payments/Credits: Outstanding Invoice(s) Subtotal:		\$ 3,850.00
TOTAL AMOUNT DUE:		\$ 3,850.00

PAYMENT TERMS:

BARBER VALLEY DEVELOPMENT INC 877 W MAIN ST STE 501 BOISE, ID 83702-6018			COLUMBIA BANK 877,272,3878 columbiabank.com	8/13/202	6442 34-927/1251 6 CHECK AMMER 1
PAY TO THE RiveRidge ORDER OF Three Thousand Eight Hundred Fifty and 00/100]************	*********	**********	\$ **3,850.00)
RiveRidge 2447 S. Vista Ave. Boise, Idaho 83705 MEMO 19045 CID Haystack #1		A CONTRACTOR OF THE PARTY OF TH	AUTHORIZED \$	JIGNATURE	DOLLARS
BARBER VALLEY DEVELOPMENT INC RiveRidge Date Type Reference 7/30/2021 Bill	Original Amt. 3,850.00	Balance Due 3,850.00	8/13/2021 Discount Check Amount	Paym 3,850 3,850	.00
	ä	er en		~	
Columbia/ICB- CHEC 19045 CID Haystack #1				3,85	60.00
BARBER VALLEY DEVELOPMENT INC RiveRidge Date Type Reference 7/30/2021 Bill	Original Amt. 3,850.00	Balance Due 3,850.00	8/13/2021 Discount Check Amount	Paym 3,850 3,850	.00
				2	
Columbia/ICB- CHEC 19045 CID Haystack #1				3,85	0.00



Date: August 13, 2021 Job No. 19045

Description: Haystack Subdivision No. 1 - CONSTRUCTION MANAGEMENT SERVICES

PROFESSIONAL SERVICES	AMOUNT	BALANCE
Professional engineering service rendered in July, 2021 per project contract. Project Construction Management Services for June of 2021 are in excess of project budget amount due to the long term required sight inspections for the project. Project Manager 5.0 Hours @ \$ 175.00 Project Engineer 0.0 Hours @ \$ 150.00	\$ 875.00 \$ -	\$ 875.00
Total Due This Period: Payments/Credits: Outstanding Invoice(s) Subtotal:		\$ 875.00 \$ - \$ 875.00
	Project Construction Management Services for June of 2021 are in excess of project budget amount due to the long term required sight inspections for the project. Project Manager 5.0 Hours @ \$ 175.00 Project Engineer 0.0 Hours @ \$ 150.00 Total Due This Period: Payments/Credits:	Project Construction Management Services for June of 2021 are in excess of project budget amount due to the long term required sight inspections for the project. Project Manager 5.0 Hours @ \$ 175.00 \$ 875.00 Project Engineer 0.0 Hours @ \$ 150.00 \$ - Total Due This Period: Payments/Credits: Outstanding Invoice(s) Subtotal:

PAYMENT TERMS:

COLUMBIA BANK 877.272.3678 columbiabank.com 6477 34-827/1251 BARBER VALLEY DEVELOPMENT INC 877 W MAIN ST STE 501 CHECK ARM BOISE, ID 83702-6018 9/8/2021 RiveRidge PAY TO THE ORDER OF_ **875.00 DOLLARS RiveRidge 2447 S. Vista Ave. Boise, Idaho 83705 0 **МЕМО** 19045 CID Haystack AUTHORIZED SIGNATURE **#006477#** BARBER VALLEY DEVELOPMENT INC 6477 RiveRidge 9/8/2021 Type Reference Date Original Amt. Balance Due Discount Payment 9/8/2021 Bill 875.00 875.00 875.00 **Check Amount** 875.00 Columbia/ICB- CHEC 19045 CID Haystack 875.00 BARBER VALLEY DEVELOPMENT INC 6477 RiveRidge 9/8/2021 Date Type Reference Original Amt. Balance Due Discount **Payment** 9/8/2021 Bill 875.00 875.00 875.00

875.00

Check Amount