

Barber Valley Specific Plan (SP02)

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BARBER VALLEY

Project Design Team Members

OWNERS

Brighton Investments, LLC
Barber Mill Investments
Martom Group, LLC

APPLICANT

Brighton Corporation



LEGAL

Givens Pursley



PLANNING

The Land Group Inc.



ARCHITECTS

Erstad Architects



ENGINEERING

Quadrant Consulting Inc.



Engineering NorthWest, LLC

Engineering NorthWest, LLC

TRAFFIC/TRANSPORTATION

Stanley Consultants Inc.



LANDSCAPE ARCHITECTS

The Land Group Inc.



WILDLIFE MITIGATION

Environmental Conservation Services, Inc.



Greg Kaltenecker



FLOOD ANALYSIS

Resource Systems Inc.



WETLANDS

The Wetlands Group, LLC

The Wetlands Group, LLC



June 26, 2007

Mayor David H. Bieter
Members of the City Council
City of Boise
150 N. Capital Blvd.
Boise, ID 83702

Re: The Barber Valley Specific Plan – Specific Plan 02 (SP02)

Dear Mr. Mayor and City Council,

Brighton Corporation is pleased to submit this application for the Barber Valley Specific Plan. This application is the culmination of a great deal of effort and planning involving our project team, Boise City Planning and Development Services, Parks and Recreation, and Public Works staff, ACHD staff, representatives from several neighborhood associations, individual neighbors and other interested individuals, utility service providers, Idaho Fish and Game and many others.

The Barber Valley Specific Plan provides details and guidelines for the development of roughly 200 acres comprising the following distinct areas:

- The Marianne Williams Park: This park site, donated to Boise City in 2005, includes 70 acres of prime park land located on the Boise River. Plans for the park include miles of greenbelt and both paved and natural walking paths as well as the creation, restoration and enhancement of wetlands and the natural function of the Boise River.
- Barber Station: Comprising 54-acres located adjacent to the Marianne Williams Park and bisected by the East ParkCenter Bridge, Barber Station is proposed as the employment center and commercial hub of the Barber Valley, with office, retail and higher density residential housing options.
- The Mill District: Two parcels of 12.6 and 8.35 acres located within the existing Mill District neighborhood of Harris Ranch are proposed for medium to higher density residential development.
- The Terrace: This 86-acre parcel on the east side of the Barber Valley is nestled between the foothills and Warm Springs Ave, and is proposed for single-family residential dwellings of various sizes and densities.

The development of the Barber Valley has occupied the attention of the community for many years. The Barber Valley Specific Plan will serve as the roadmap for the creation of a truly significant addition to the community of which we will all be proud. We appreciate all of the input we have received from the various stakeholders and the time and effort each has contributed to this plan. We look forward to proceeding through the process toward a successful culmination of these collective efforts. Thank you for your consideration.

Respectfully yours,

A handwritten signature in blue ink, appearing to read "David Turnbull", written over a horizontal line.

David Turnbull
President

BARBER VALLEY SPECIFIC PLAN NARRATIVE

Introduction

With this application, Brighton Corporation seeks the City of Boise's approval of the Barber Valley Specific Plan pursuant to the City's Specific Plan Ordinance in Chapter 11-22 of the Boise City Code. The Specific Plan Ordinance provides a means for creating new zoning regulations for unique areas and developments, such as mixed use districts and planned developments where conventional zoning mechanisms are inadequate.

Each tab of this two-volume application package addresses a specific aspect of the project's development and the associated requirement (or set of requirements) of the Specific Plan Ordinance. The key issues and requirements are summarized in this narrative, along with an overview of the proposed development.

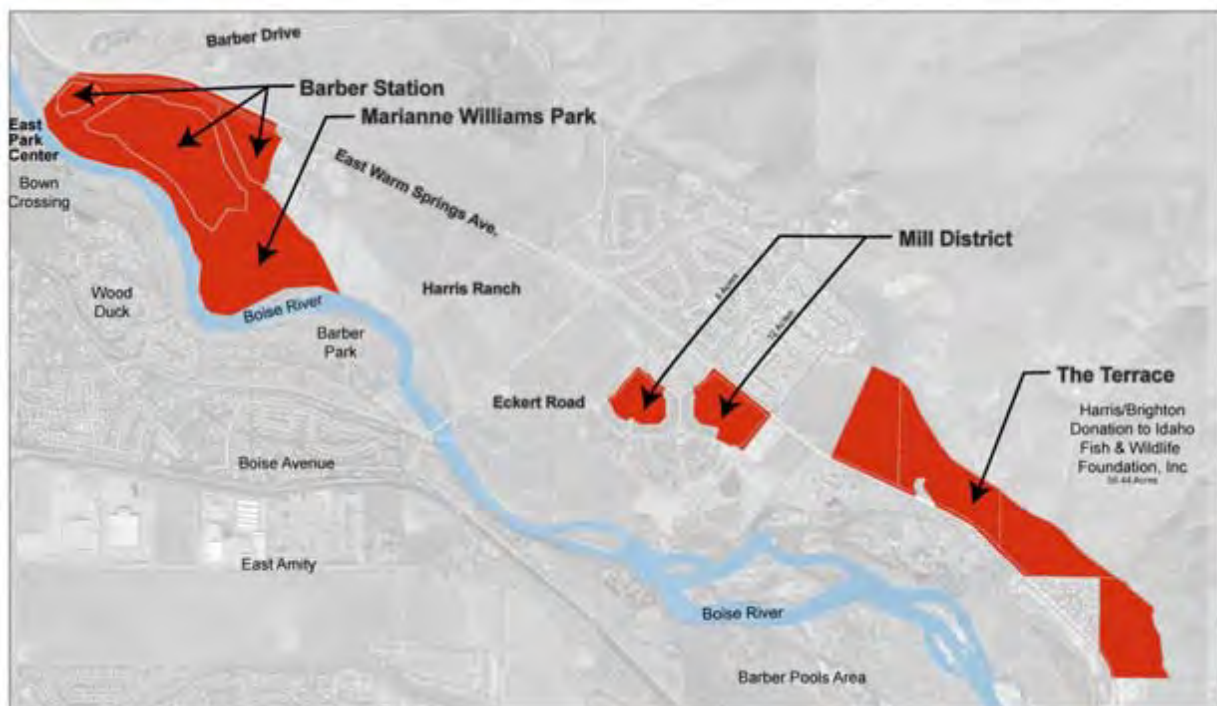
Project Overview

The Barber Valley project effectively will redevelop a prior industrial site. Lumber mills historically operated in the Barber Valley along the Boise River. In concert with the City Parks Department, Brighton will work to restore the natural river bank and associated floodway and ecosystem degraded by the old industrial uses.



Agricultural uses, including sheep and cattle grazing, historically occupied much of the upland areas of the valley. In recent years, the Harris Ranch development has supplanted some of these agricultural uses with residential homes. In an effort to protect wildlife habitat and open space in the valley, Harris Brighton LLC has donated over 56 acres of land to the Idaho Department of Fish & Wildlife Foundation, Inc. The Barber Valley project provides connective corridors between the foothills and the river for wildlife and a network of trails and open space for residents and recreationists.

The Barber Valley Specific Plan includes three development areas—Barber Station, Mill District and The Terrace—as well as the new Marianne Williams Park. Each of these areas is described below.



Barber Station

Barber Station will emphasize mixed use synergy, high quality design, pedestrian orientation and flexible development standards in an area that will include an urban look and feel along the main boulevard—E. Barber Valley Drive—and an office park look and feel in the area adjoining Marianne Williams Park.

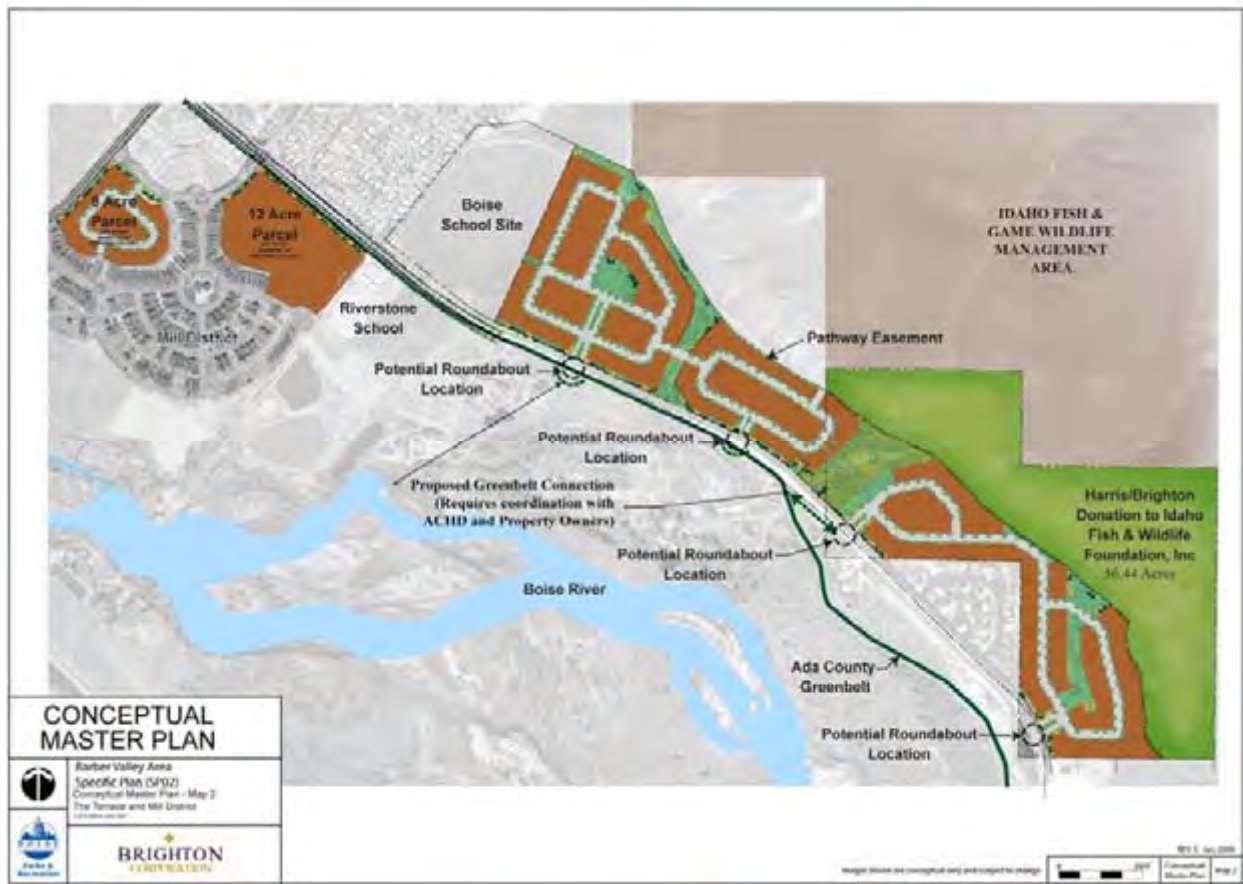


Of its 53 acres, Barber Station will include approximately 36 acres of office and commercial uses—including restaurants and shops and possibly a hotel—and approximately 17 acres of medium and high density residential uses. Specific land uses and zoning are discussed further below. The location and layout of Barber Station and Marianne Williams Park enable a variety of uses to interface with the park, the greenbelt and Walling Creek.



Mill District

Mill District encompasses two parcels (approximately 8 and 12 acres) surrounding the existing Mill District residential neighborhood of Harris Ranch. The Mill District parcels will include medium-density residential uses, designed to integrate with the existing development. Specific land uses and zoning for Mill District are discussed below, and the Design Guidelines illustrate conceptual configurations. For the 12-acre parcel, Brighton is working with nationally-recognized Greystone Communities to try to offer a campus-style Continuing Care Retirement Community with a mix of senior housing options, including independent and assisted living, memory care and skilled nursing facilities for seniors, and associated parking and common areas. Additional information and alternate designs for this site are included in the Design Guidelines.



The Terrace

At the eastern end of the Barber Valley, Brighton will develop The Terrace as a quality low-density residential community. Harris Brighton LLC has donated the 56-acre hillside area above The Terrace to the Idaho Department of Fish and Game. The Terrace design will protect and enhance drainage and wildlife corridors, providing connectivity between the foothills and the river. On approximately 86 acres, The Terrace will include approximately 250 units, a neighborhood park, open space corridors, densities compatible with neighboring uses, detached sidewalks and street trees, design review by an architectural committee, compatibility with potential roundabouts on Warm Springs, and easy greenbelt access. Specific land uses and zoning are discussed below.

Marianne Williams Park

As part of the Barber Valley project, the City is receiving a signature regional park. The 70-acre riverfront Marianne Williams Park will include approximately 42 acres of natural river and floodplain habitat with limited access (because of habitat features), non-paved paths, secluded destination areas, bird-watching, and similar passive activities, as well as 22 acres of passive use area for typical park activities such as picnics, biking, walking, playgrounds, grassed open space and river access. Pathways within the park will include approximately 5600 linear feet of a 12-foot wide greenbelt path, 3225 linear feet of a 10-foot wide greenbelt path, 2250 linear feet of a 6-foot wide natural surface path, and 5500 linear feet of a 5-foot wide concrete path. The natural gravel pathway in Marianne Williams Park will be closed seasonally to protect wintering bald eagles. Dates of closure will be determined by the Idaho Department of Fish and Game; it is anticipated that closure dates will be November 15 through March 15.

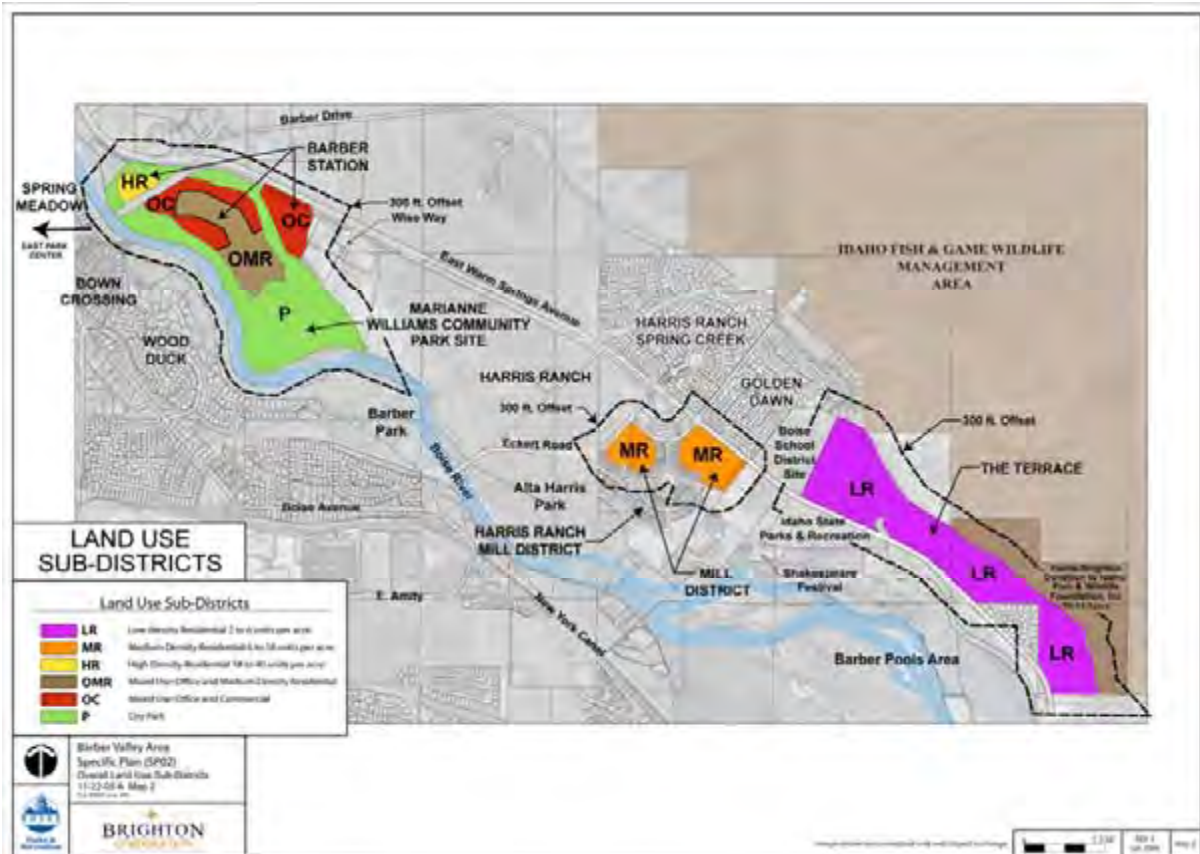


Annexation (of Two Parcels in The Terrace)

With this application for a Specific Plan, which seeks a rezone of the entire Barber Valley property to SP02, Brighton also seeks annexation of two parcels in the eastern portion of The Terrace. The annexation area is described in Section 14 (Vol. 2). Brighton has applied for a Comprehensive Plan Land Use Map Amendment to change the land use designation for these two parcels from Estate Density (2 DU/ac) to Planned Community.

Land Uses and Zoning Standards

The Barber Valley Zoning Map, Land Use Sub-Districts, and Concept Drawings are all included in Section 3 (Vol. 1). The Barber Valley Specific Plan Zoning Ordinance, included in Section 6 (Vol. 1), describes land use sub-districts proposed for the Barber Valley project, along with the allowed uses, densities, and lot and structure dimensions for each sub-district. The Zoning Ordinance also describes a review, approval and amendment process.



Barber Station includes three zoning sub-districts:

- The property to the west of the new East Park Center Bridge is in the **High-Density Residential Sub-District (SP02-HR)**, which is designed to (a) accommodate higher density residential uses at a net density of approximately 18 to 40 units per acre; and (b) encourage residential uses that are convenient to shopping, recreation, cultural and other concentrated community facilities.
- The **Office/Medium-Density Residential Sub-District (SP02-OMR)** is located at the east end of the main Barber Station area, adjacent to Marianne Williams Park and Walling Creek and along Barber Station Drive. The purpose of this sub-district is to accommodate medium density residential uses, business and professional office uses, and complementary commercial uses such as hotels, restaurants and theaters, together with necessary off-street parking facilities.

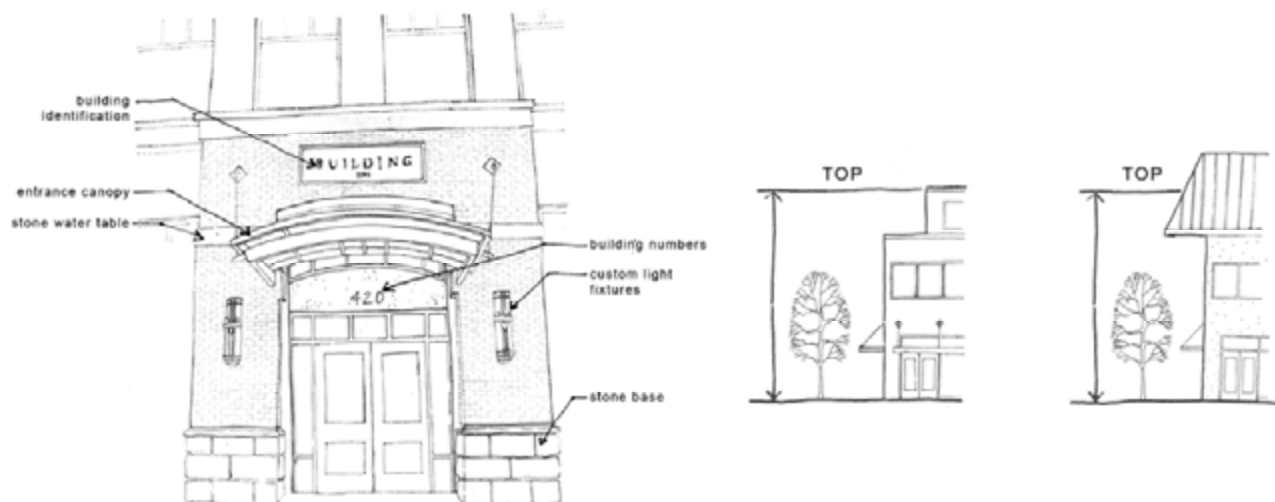
- The area of Barber Station to the east of the East Park Center Bridge and continuing along Marianne Williams Park and Walling Creek is in the **Office/Commercial Sub-District (SP02-OC)**. The purpose of this sub-district is to provide a significant commercial and office component in Barber Station, together with necessary off-street parking facilities. Large office buildings will be allowed, along with retail, shopping, service, lodging and civic uses.

The two Mill District parcels are in the **Medium-Density Residential Sub-District (SP02-MR)**, which is designed to (a) accommodate medium density residential uses at a net density of approximately 6 to 18 units per acre; (b) provide an orderly transition from more intensive, higher density uses to less intensive, lower density uses; and (c) allow limited garden type apartments and cottages and quasi-residential uses, including senior housing and care facilities. Along with a variety of residential uses, ranging from row houses and townhouses to condominiums and multi-story apartments, Mill District could include civic and recreational facilities, along with office, medical and personal service commercial uses that are ancillary to the senior housing and care facilities.

The Terrace is in the **Low-Density Residential Sub-District (SP02-LR)**, which is designed to provide diverse urban housing products at a net density of approximately 2 to 6 units per acre. Along with the residential uses, The Terrace will include community uses such as parks and common areas.

Design Guidelines

The Design Guidelines, in Section 4 (Vol. 1), provide a framework that ensures the construction of high quality commercial and mixed use buildings, site design, landscaping, lighting, and signage throughout the Barber Valley project. The Design Guidelines will facilitate a pedestrian friendly, dynamic and functional environment for living, working and recreating. Public Road Design Standards are included in Section 5 (Vol. 1).



Site Inventory

The maps included in Section 8 (Vol. 1) show the existing conditions of the site, including the character of the terrain, waterways, wetland areas, vegetation and existing development.

Environmental Hazards Assessment

The Barber Valley project area does not include any known significant environmental hazards. Environmental evaluations conducted on the property are summarized in Section 11 (Vol. 1) and included in full in Section 18 (Vol. 2).

Wildlife/Habitat Assessment

The Wildlife Mitigation Plan (WMP) for Barber Station and The Terrace, summarized in Section 9 (Vol. 1) and included in Section 16 (Vol. 2), evaluates existing site conditions, considers direct and indirect impacts of the proposed development, and proposes a mitigation and funding plan to address the impacts. The Mill District parcels are not included in the WMP because they are improved, graded lots within an existing development area.

As to existing site conditions, the WMP finds that while there is habitat present for most of the species historically observed in the area, it generally is in poor condition and unlikely to support a stable community, or it is being protected or enhanced per the development plan, Boise River permit, and the WMP. The WMP identifies potential impacts of the proposed development, including: conversion of open space; disturbance to riparian area; noise; light; recreation; introduction of invasive species; wildland fire; traffic; nuisance wildlife; and other pests.

Based on the identified impacts, the WMP identifies a number of mitigation actions to limit the overall adverse impacts to plant and wildlife species in and adjacent to the proposed developments, which include appointment of a Barber Valley Conservation Director and Advisory Committee; compliance surveys for the Federal Migratory Bird Treaty Act of 1972; nest boxes and perches; pest control best management practices; habitat enhancement and restoration plan; neighborhood and commercial design features; recreation guidelines and restrictions; nuisance wildlife guidelines; and a permanent conservation program fund.

Traffic Impact Study

The Traffic Impact Study (TIS) for the Barber Valley project is summarized in Section 13 (Vol. 1) and included in Section 19 (Vol. 2). According to the TIS, Barber Valley is projected to generate approximately 15,116 trips per day; approximately 22% of these are internal trips having origins and destinations within the area. Brighton will participate pro rata in the Transportation Management Association, in management and implementation, and will have a Transportation Demand Management program for the site. These programs are projected to reduce site traffic by another 5%, resulting in a total trip capture of 27% on the external transportation system.

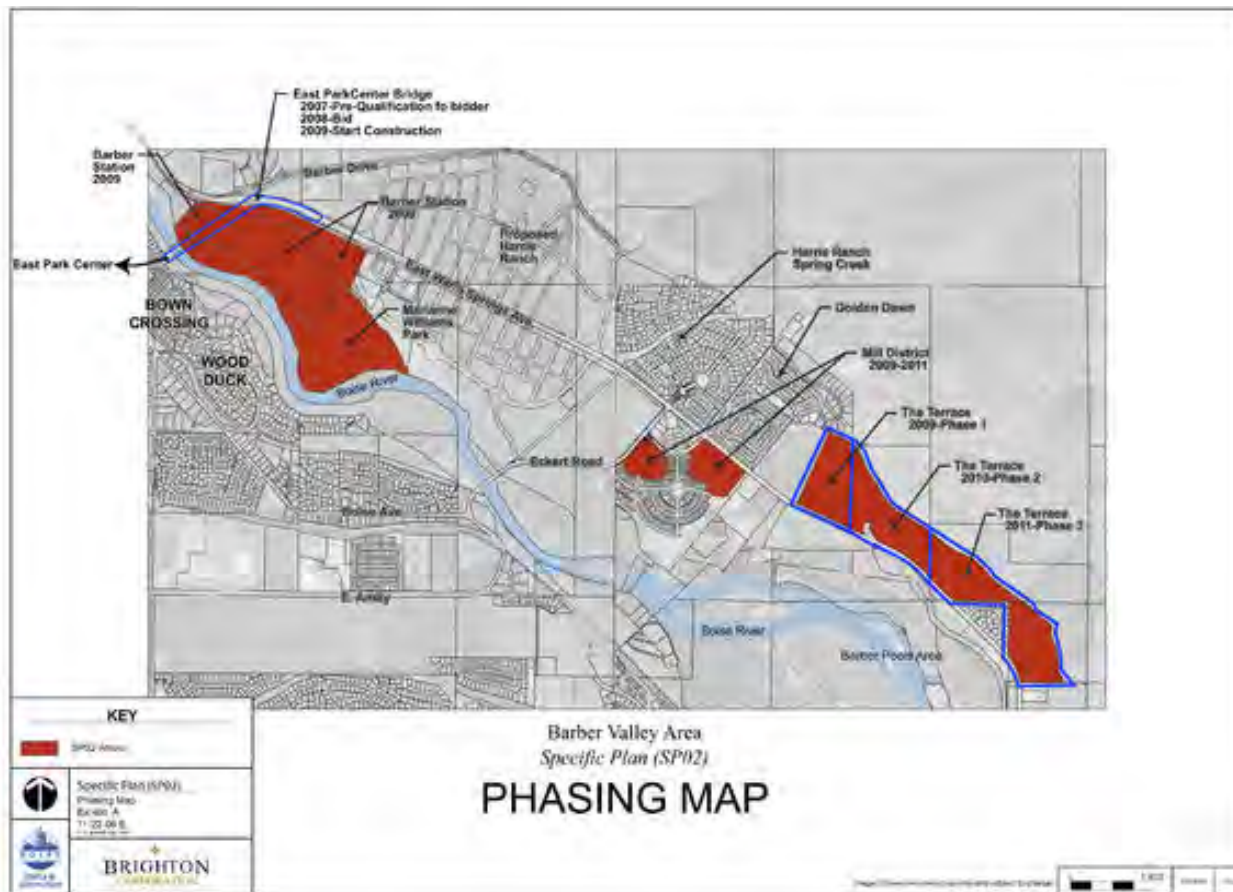
The following area roadways are expected to have sufficient capacity in the year 2015 to accommodate the new Barber Valley trips as well as other background conditions (including the Harris Ranch expansion, the Cliffs, and East Junior High School): the new East Park Center Bridge, Eckert Road, Warm Springs Avenue through the existing Harris Ranch, and South Parkway (the new Warm Springs Avenue alignment).

Certain improvements may be needed to serve the new Barber Valley trips as well as trips from the Harris Ranch expansion, The Cliffs, East Junior High School, and other background conditions, including: installation of a signal or roundabout at the intersections of Warm Springs Avenue/Eckert Road and Boise Avenue/Eckert Road. Brighton will contribute its proportionate share of the cost for these improvements, as necessary, along with Harris Ranch, The Cliffs, East Junior High School, and other background contributors. Brighton will participate with Ada

County Highway District (ACHD), Boise City, and the public at large in a T.L.I.P., or similar public process, to determine the location for potential roundabouts, or other traffic calming measures, on Warm Springs Avenue.

Infrastructure and Phasing

The Phasing Plan Narrative and Phasing Map, in Section 12 (Vol. 1), describe the estimated build-out schedule for the Barber Valley project. Actual construction is anticipated to begin in 2008 and, given favorable economic conditions, should be completed within the following ten years. The Phasing Plan also describes the integration with the Harris Ranch expansion.



The East Park Center Bridge is funded and scheduled to proceed. ACHD will begin accepting bids for construction in January 2008, with construction scheduled to begin in May 2008 and end in 2009. Based on this schedule, compared to the scheduled build-out of the Barber Valley project, Barber Valley will not cause any significant impacts on traffic or road capacity prior to construction of the East Park Center Bridge.

Cultural Resources Survey

Science Applications International Corporation completed the Harris Ranch Cultural Resources Survey in August 1996, which includes the majority of the Barber Valley project. This Survey is summarized (with specific references to the Barber Valley project) in Section 10 (Vol. 1); the full report is in Section 17 (Vol. 2).

The Survey describes the study area as varying between somewhat disturbed and extremely disturbed, due to historic uses in the valley, including the Barber Mill and associated town of Barberton. Specifically, research indicates lumber mill operations and other industrial uses likely affected every portion of the Barber Station and Marianne Williams Park sites.

The Survey notes that previous cultural resource investigations in the area produced varied results and in most cases encountered limited numbers of prehistoric resources with a low density of sites, in and near the survey area. None of the sites are located within the boundaries of the Barber Valley project.

Consistency with Harris Ranch

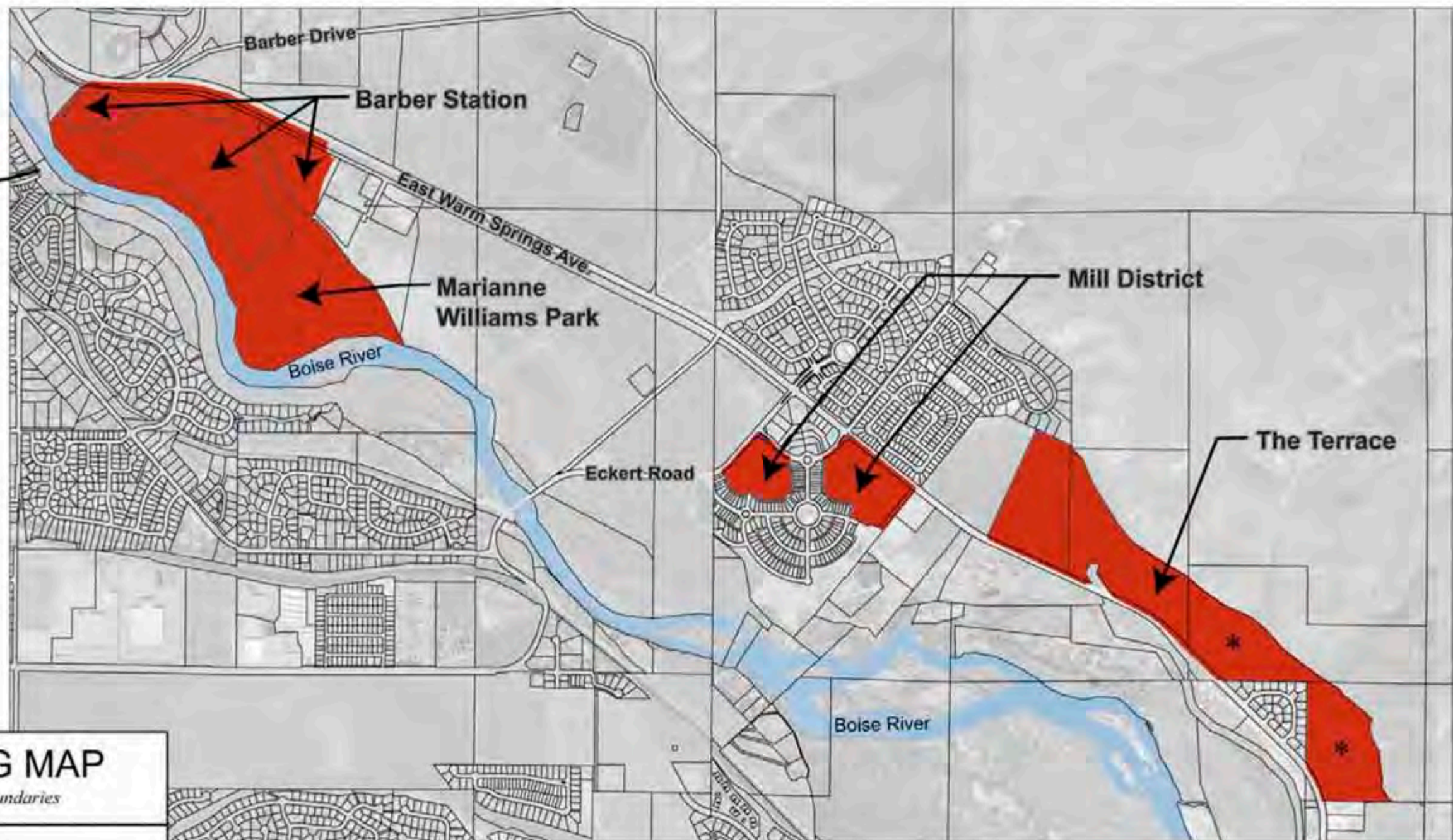
The Barber Valley project is consistent with the prior approvals of Harris Ranch. Barber Station, Mill District, and the western portion of The Terrace were part of the original Harris Ranch Master Land Use Plan and thus currently are subject to the existing conditions of approval for the original Harris Ranch development agreement. Section 7 (Vol. 1) includes an explanation of how each of these conditions has been resolved or will be resolved by this Specific Plan.

The Barber Valley project also is consistent with the recently-approved Harris Ranch Specific Plan. The two developers have worked together and/or shared costs in several respects, including: preparation of the Traffic Impact Study; greenbelt path connectivity through Barber Station, Marianne Williams Park and Harris Ranch; and formation of a Transportation Management Association to address public transit and to install traffic-calming measures such as roundabouts. Additionally, Barber Valley will construct the sewer line through Barber Station, providing a connection to the Harris Ranch property.

Boise River System Permit

As explained in the Boise River System Permit Application materials and summary in Section 15 (Vol. 2), the Barber Valley project meets the expectations of the Boise River Ordinance goals by maintaining or increasing the flood conveyance capacity of the Boise River, by increasing the amount and quality of wildlife habitat, by creating new recreational opportunities, and by providing development opportunities that support public access to the Boise River and associated amenities. Brighton shall comply with all conditions of the Boise River System Permit CFH07-00023, as approved on August 6, 2007.





ZONING MAP

District Boundaries

KEY

SP02 Proposed Zoning



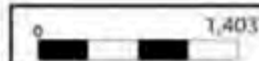
Barber Valley Area
Specific Plan (SP02)
Zoning Map
11-22-05 A Map 1
U.S. #06000 June, 2003



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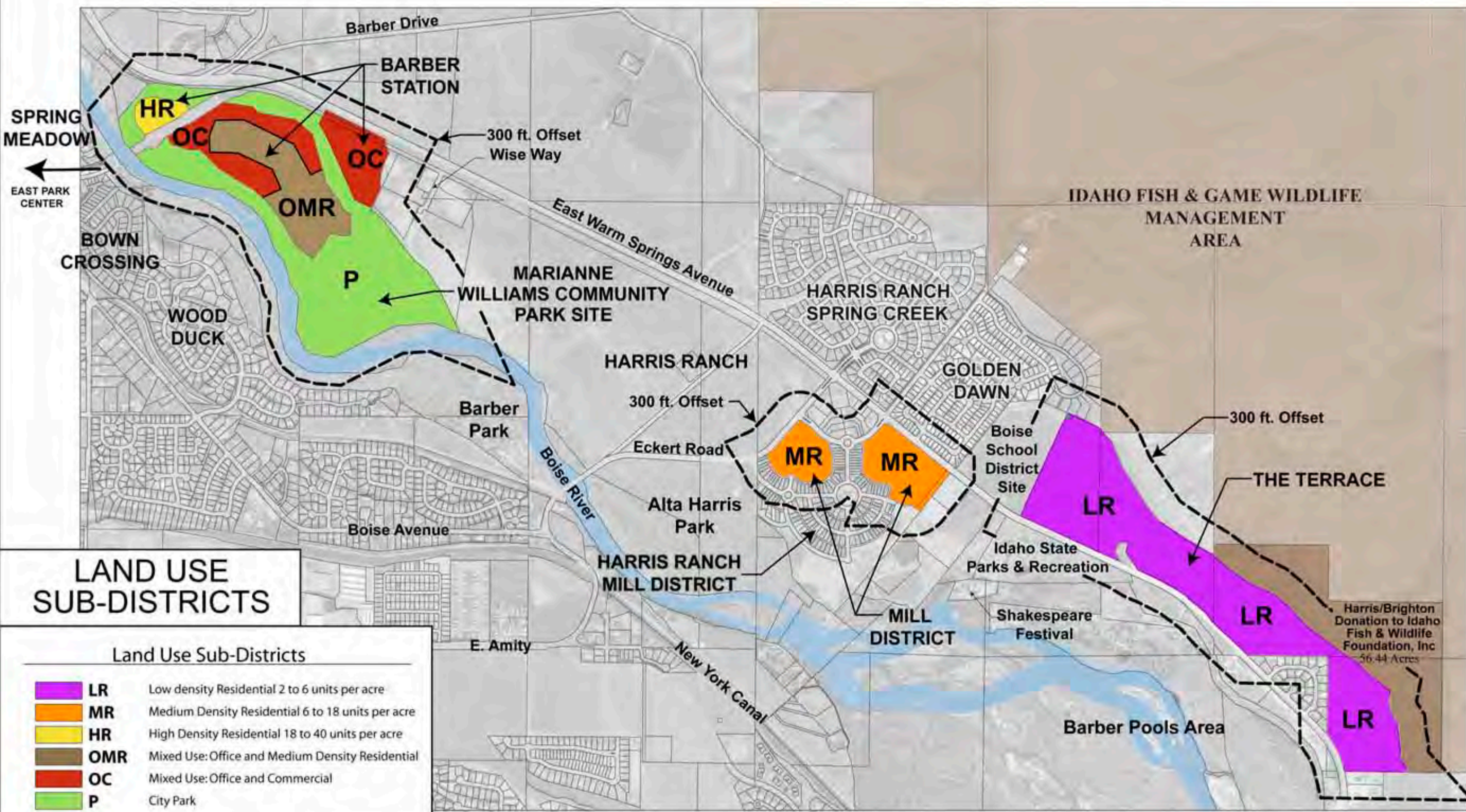
**These parcels are to be annexed and rezoned as a SP02*

Images shown are conceptual only and subject to change



REV. 2
Sept, 2007

Map 1



LAND USE SUB-DISTRICTS

Land Use Sub-Districts

LR	Low density Residential 2 to 6 units per acre
MR	Medium Density Residential 6 to 18 units per acre
HR	High Density Residential 18 to 40 units per acre
OMR	Mixed Use: Office and Medium Density Residential
OC	Mixed Use: Office and Commercial
P	City Park



Barber Valley Area
Specific Plan (SP02)
Overall Land Use Sub-Districts
11-22-05 A Map 2
TLD #18010 June 2007



Images shown are conceptual only and subject to change



REV 3
Jan 2008
Map 2

HR: Approx. 4 Acres

- Residential Density: 18-40 units per acre
Min: 72 units
Max: 160 units

OC & OMR: Approx. 13 Acres

- Conceptual Commercial Buildings:
Min: 140,000 SF
Max: 175,000 SF (w/ no residential)
- Residential Density: 6-18 units per acre, using 50% area
Min: 0 units
Max: 18 units
- Parking: 652 Spaces (3.5/1000 SF)

OC & OMR: Approx. 15 Acres

- Conceptual Commercial Buildings:
Min: 156,800 SF
Max 196,000 SF (w/ no residential)
- Residential Density: 6-18 units per acre, using 50% area
Min: 0 units
Max: 22 units
- Parking: 919 Spaces (3.5/1000 SF)



OC: Approx. 11 Acres


- Conceptual Commercial Buildings:
Min: 104,000 SF
Max 130,000 SF

OMR: Approx. 11 Acres


- Conceptual Commercial Buildings:
Min: 0
Max 40,500 SF (30% of area)
- Residential Density: 6-18 units per acre
Min: 46 units (70% of area)
Min: 66 units (100% of area)
Max: 139 units (70% of area)
Max: 198 units (100% of area)
- Parking: 472 Spaces (3.5/1000 SF)

LAND USE AND OPEN SPACE

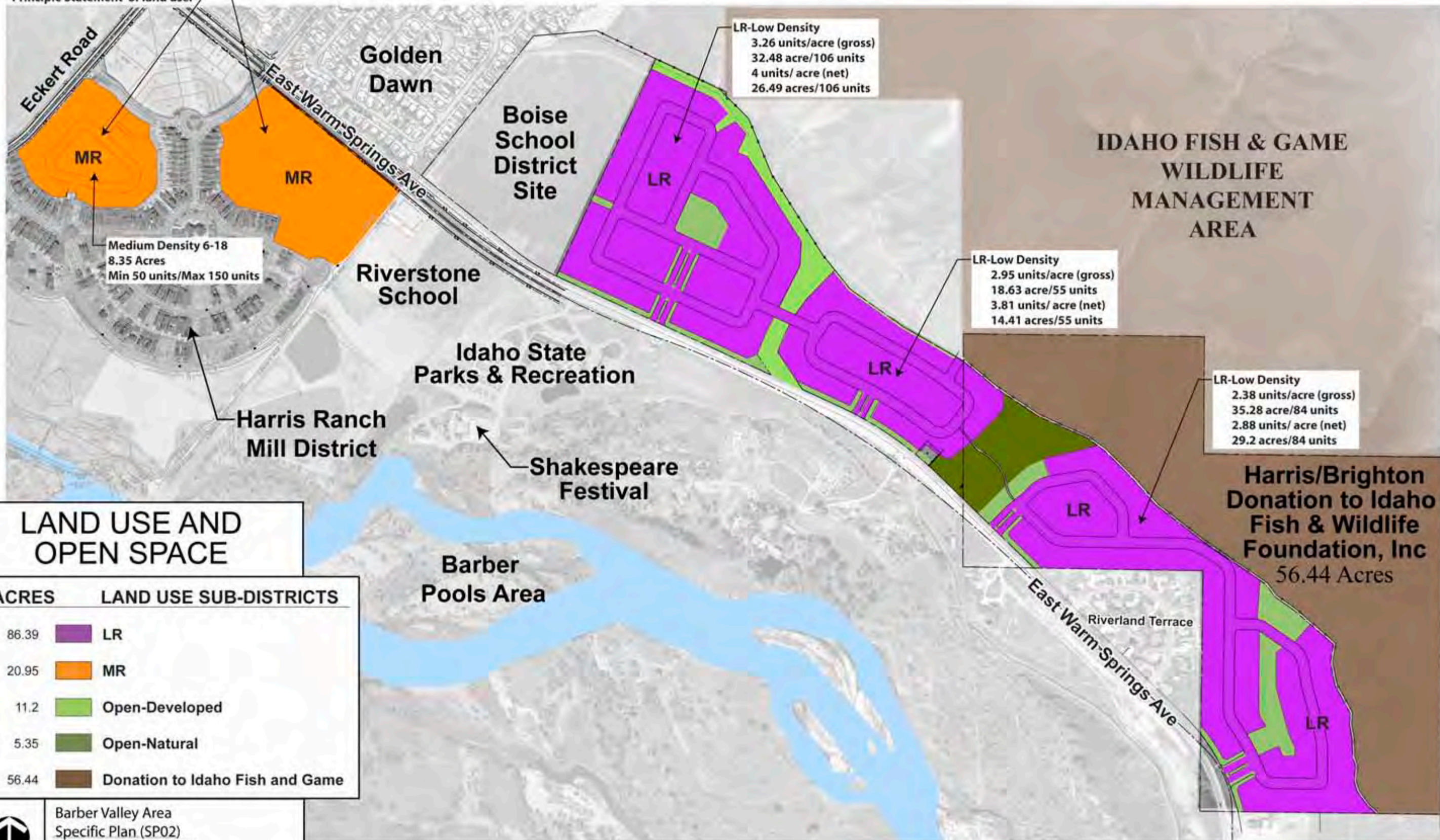
APPROX. ACRES	LAND USE SUB-DISTRICTS	
4	HR	High Density Residential
19	OMR	Mixed Use: Office and Medium Density Residential (see design guidelines for additional concepts)
24	OC	Mixed Use: Office and Commercial
70	P	City Park
 Development Density Boundaries		
 Conceptual Building Envelopes		








Barber Valley Area
Specific Plan (SP02)
Land Use and Open Space
Barber Station/Marianne Williams Park
11-22-06 A - Map 1
TUG #00095 June 2007



See Design Guidelines chapter for site development 'Objectives' and 'Principle Statement' of land use.



LAND USE AND OPEN SPACE

ACRES	LAND USE SUB-DISTRICTS	
86.39		LR
20.95		MR
11.2		Open-Developed
5.35		Open-Natural
56.44		Donation to Idaho Fish and Game



**Barber Valley Area
Specific Plan (SP02)
Land Use and Open Space
The Terrace and Mill District
11-22-06 A - Map 2**
TUG # 060906 June 2007



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REV.3
Jan. 2008

Map 2



- Total Marianne Williams Park: 70 acres
- Barber Station: 53 acres
 - Office/Commercial: 36 acres
 - Residential: 17 acres
- ACHD- East Park Center Boulevard: 6 acres

CONCEPTUAL MASTER PLAN



Barber Valley Area
Specific Plan (SP02)
Conceptual Master Plan
Barber Station/Marianne Williams Park

T.L.G. #06095 June 2007



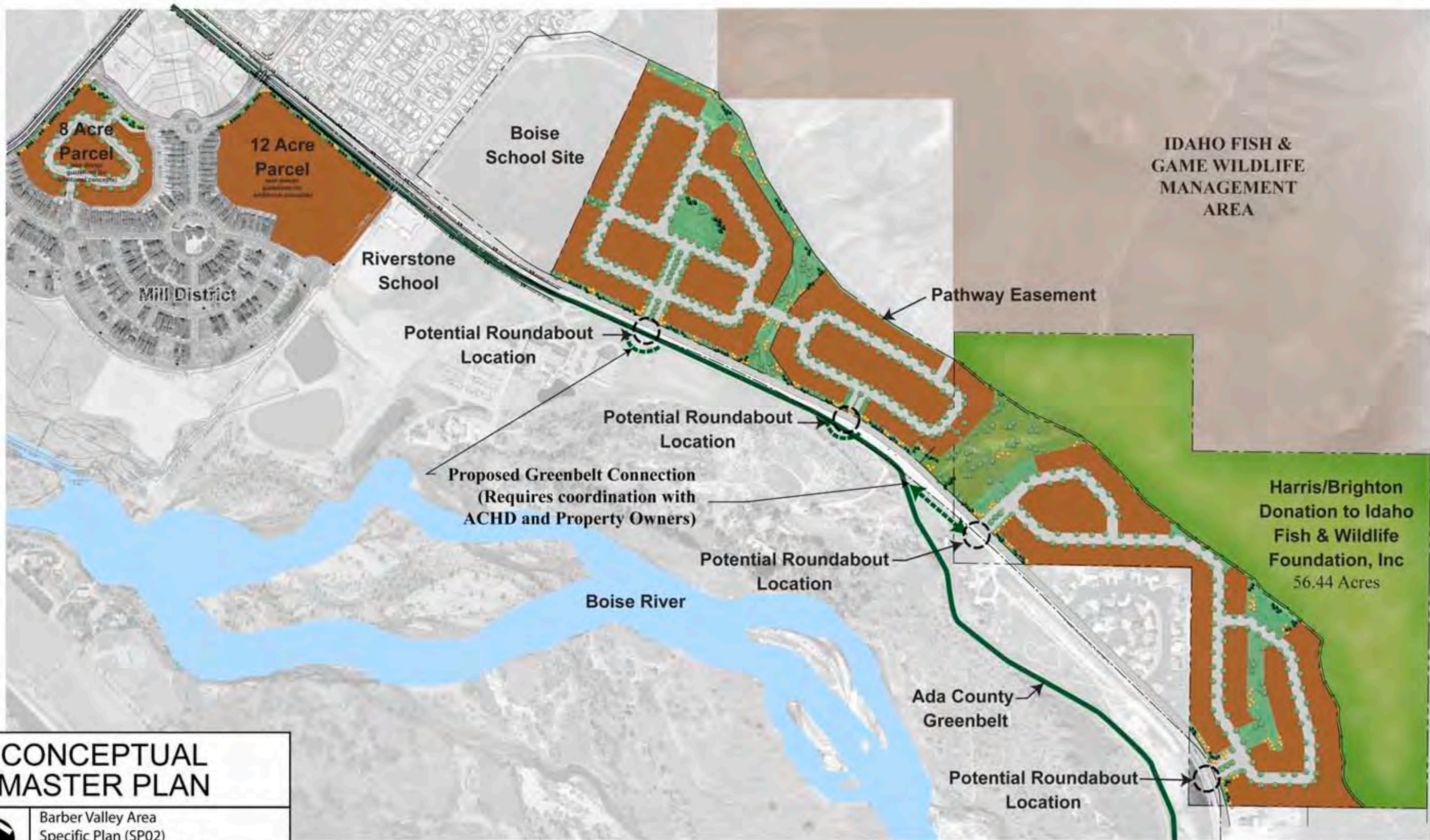
BRIGHTON
CORPORATION

Images shown are conceptual only and subject to change

0 329'

REV 3
Jan, 2008

Map 1



CONCEPTUAL MASTER PLAN



Barber Valley Area
Specific Plan (SP02)
Conceptual Master Plan - Map 2
The Terrace and Mill District
TLC # 00095 June 2007



Parks & Recreation

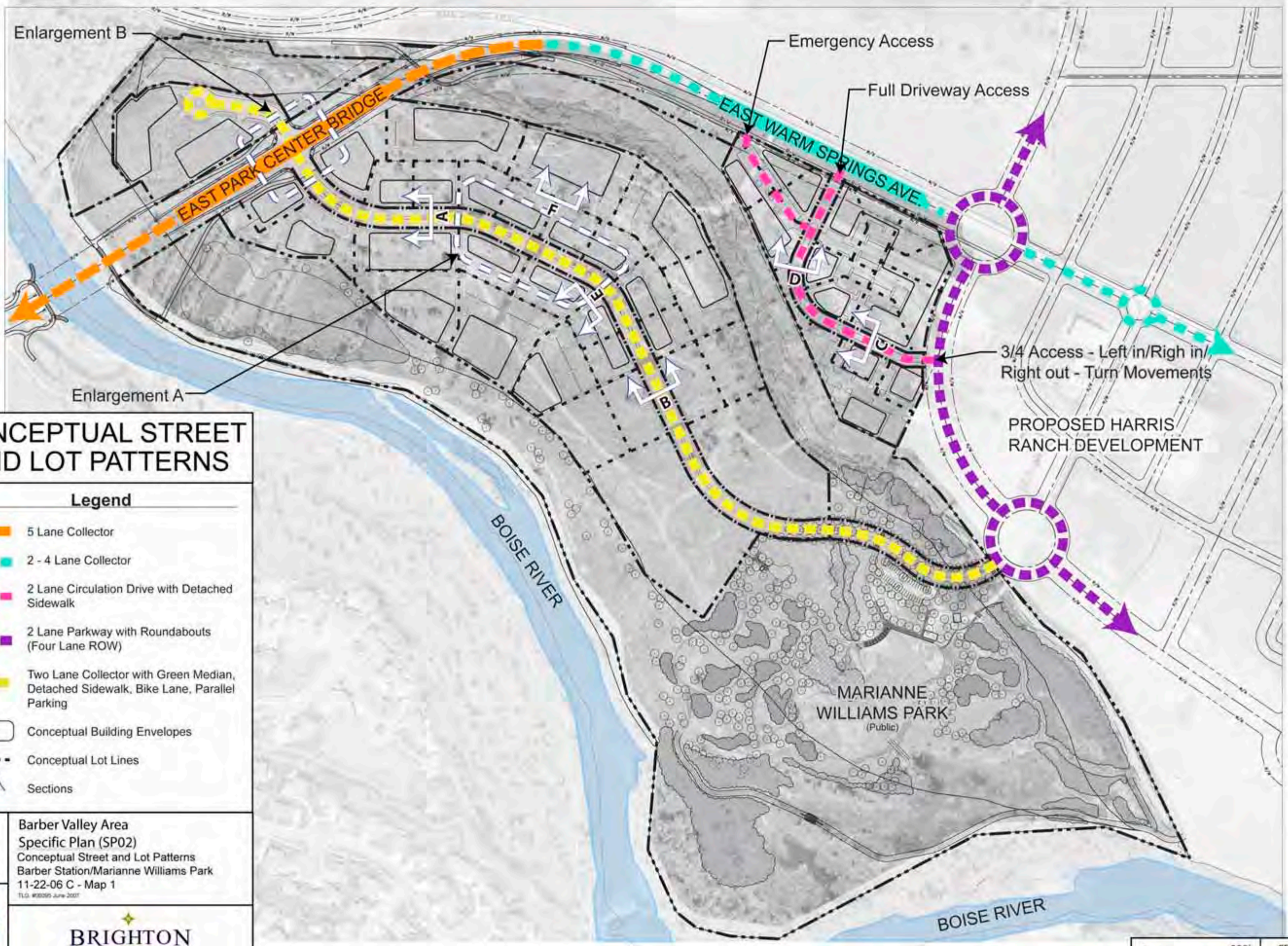
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REV. 3 Jan, 2008

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Conceptual Master Plan Map 2



CONCEPTUAL STREET AND LOT PATTERNS

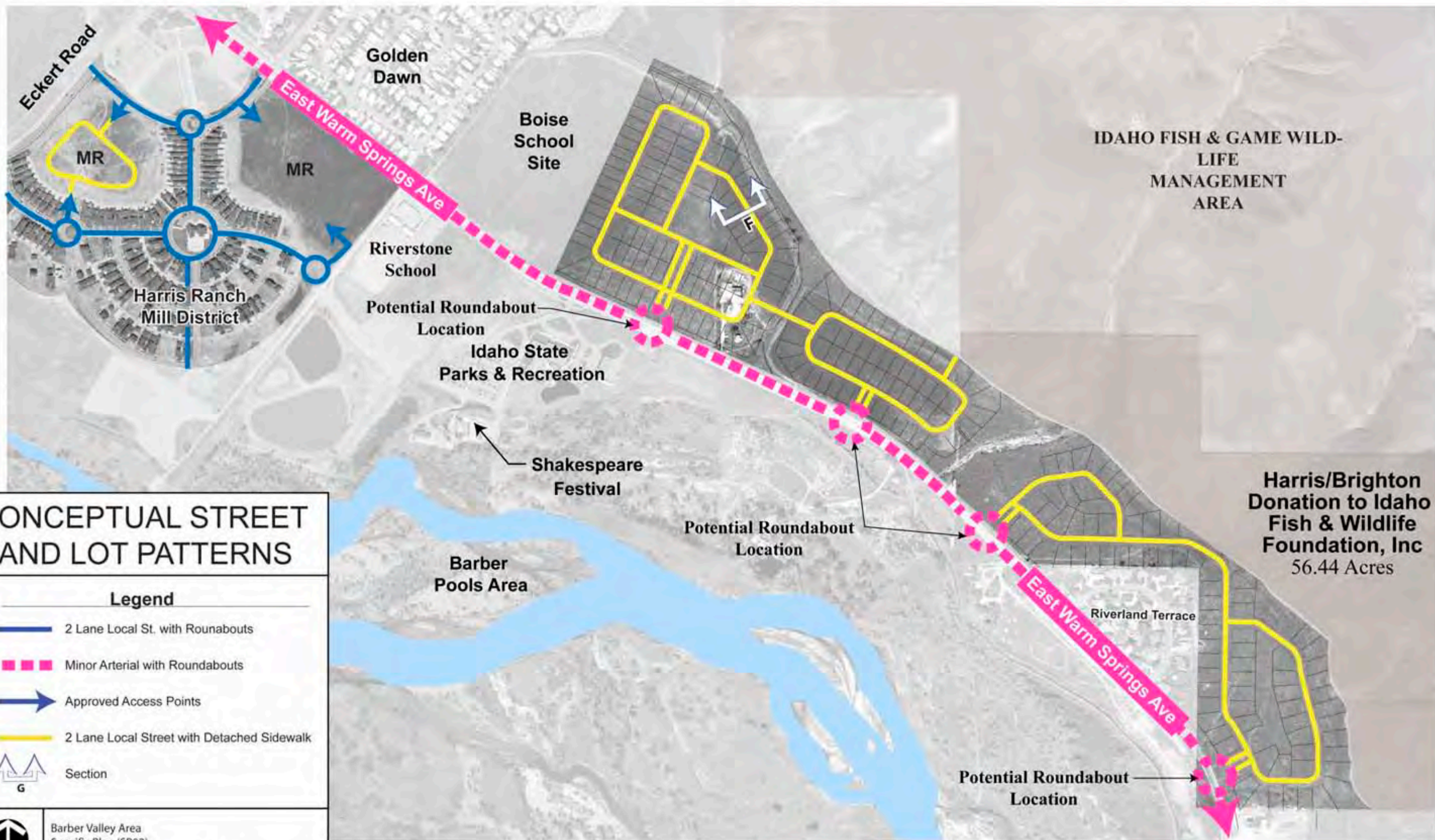
Legend

- 5 Lane Collector
- 2 - 4 Lane Collector
- 2 Lane Circulation Drive with Detached Sidewalk
- 2 Lane Parkway with Roundabouts (Four Lane ROW)
- Two Lane Collector with Green Median, Detached Sidewalk, Bike Lane, Parallel Parking
- Conceptual Building Envelopes
- Conceptual Lot Lines
- Sections

Barber Valley Area
Specific Plan (SP02)
Conceptual Street and Lot Patterns
Barber Station/Marianne Williams Park
11-22-06 C - Map 1
TLO: #00055 June 2007

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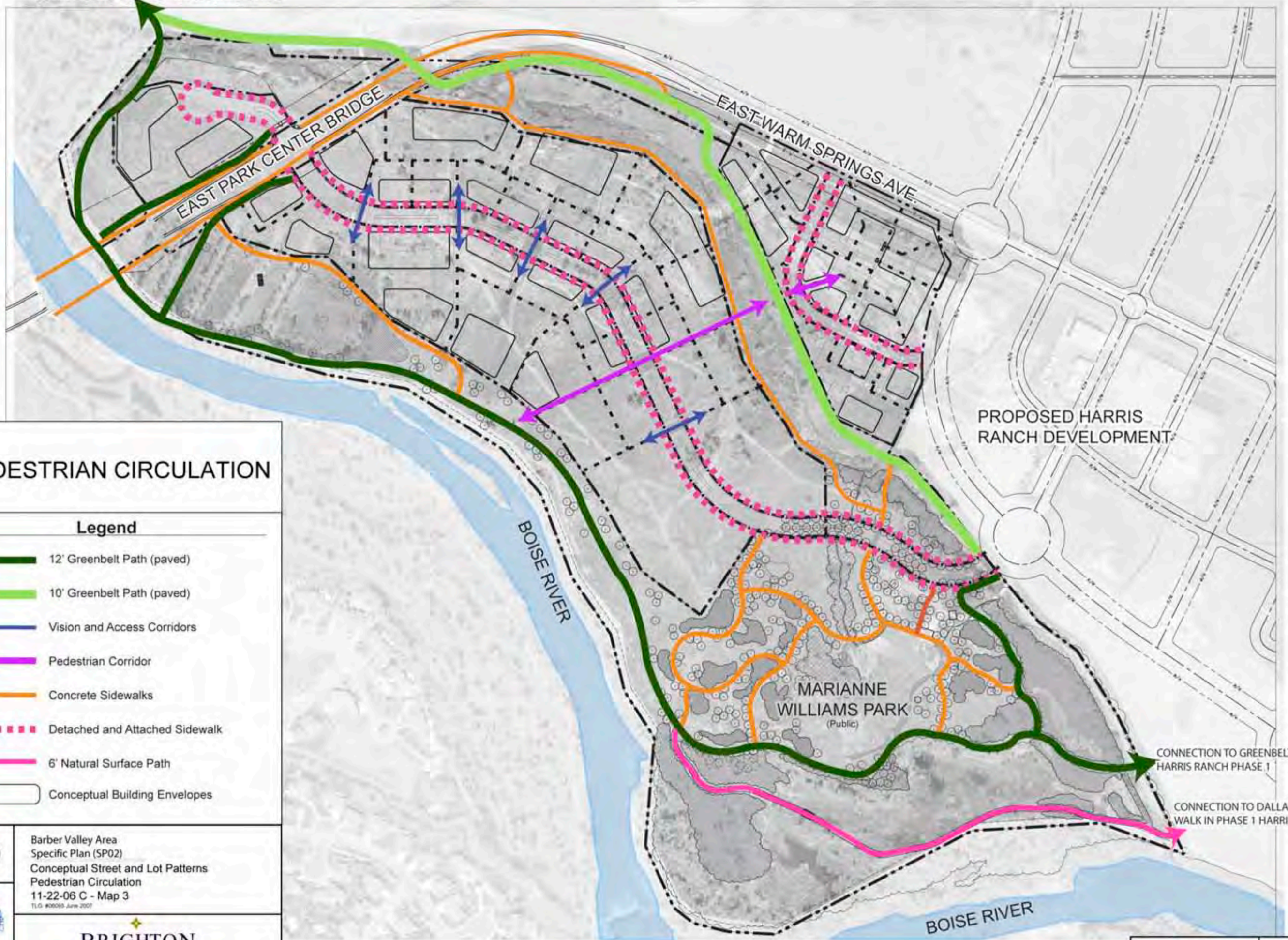
CONCEPTUAL STREET AND LOT PATTERNS

- Legend**
- 2 Lane Local St. with Roundabouts
 - Minor Arterial with Roundabouts
 - Approved Access Points
 - 2 Lane Local Street with Detached Sidewalk
 - Section

Boise
Parks & Recreation

Barber Valley Area
Specific Plan (SP02)
Conceptual Street and Lot Patterns
11-22-06 C - Map 2
TLG # 00056 June 2007

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PEDESTRIAN CIRCULATION

Legend

- 12' Greenbelt Path (paved)
- 10' Greenbelt Path (paved)
- ← Vision and Access Corridors
- ← Pedestrian Corridor
- Concrete Sidewalks
- - - Detached and Attached Sidewalk
- 6' Natural Surface Path
- Conceptual Building Envelopes



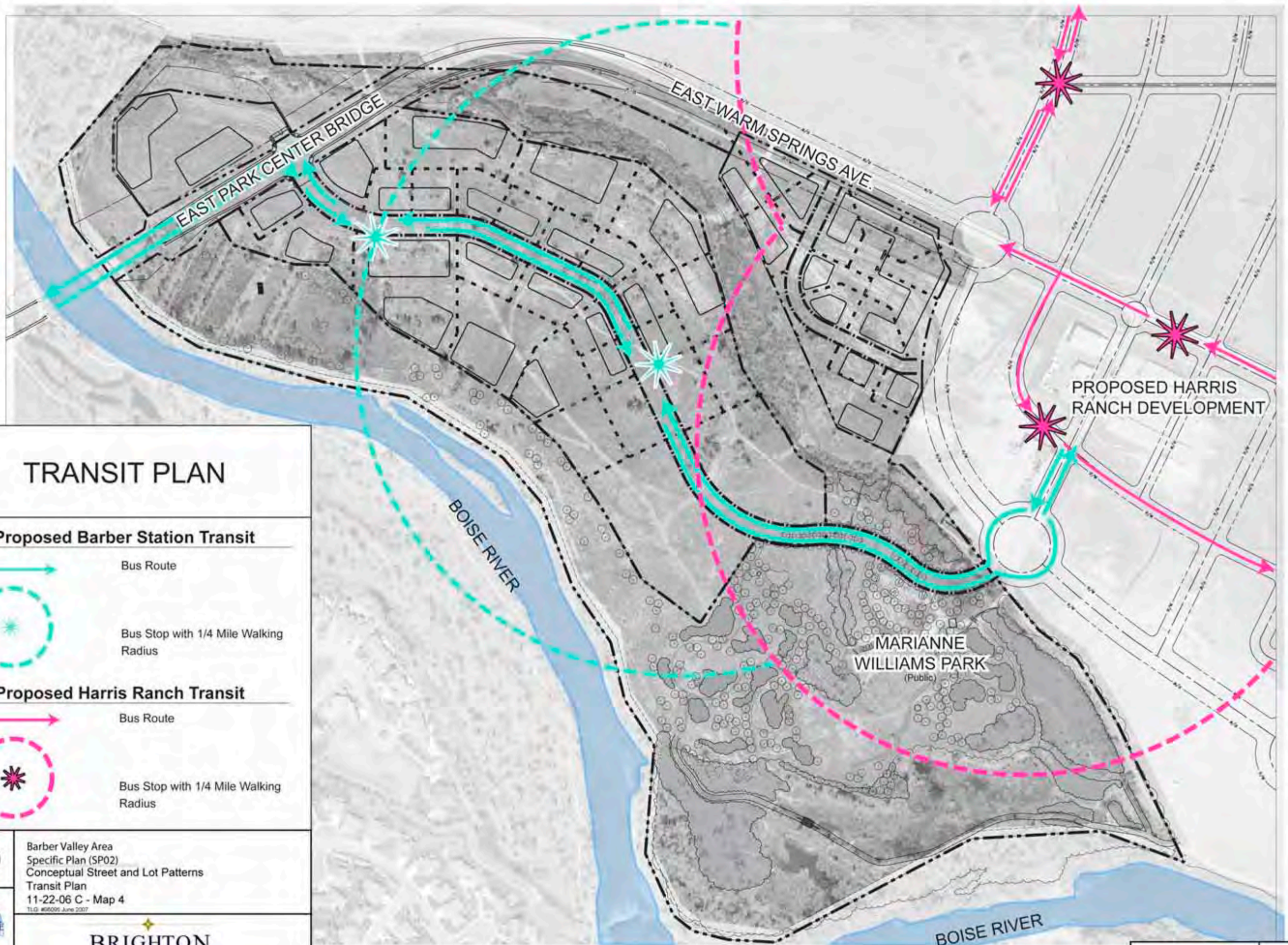
Barber Valley Area
Specific Plan (SP02)
Conceptual Street and Lot Patterns
Pedestrian Circulation
11-22-06 C - Map 3
TLO #00065 June 2007



Images shown are conceptual only and subject to change

0 329'

11-22-06 C Map 3



TRANSIT PLAN

Proposed Barber Station Transit

Bus Route



Bus Stop with 1/4 Mile Walking Radius

Proposed Harris Ranch Transit

Bus Route



Bus Stop with 1/4 Mile Walking Radius



Barber Valley Area
Specific Plan (SP02)
Conceptual Street and Lot Patterns
Transit Plan
11-22-06 C - Map 4
TLO #05095 June 2007



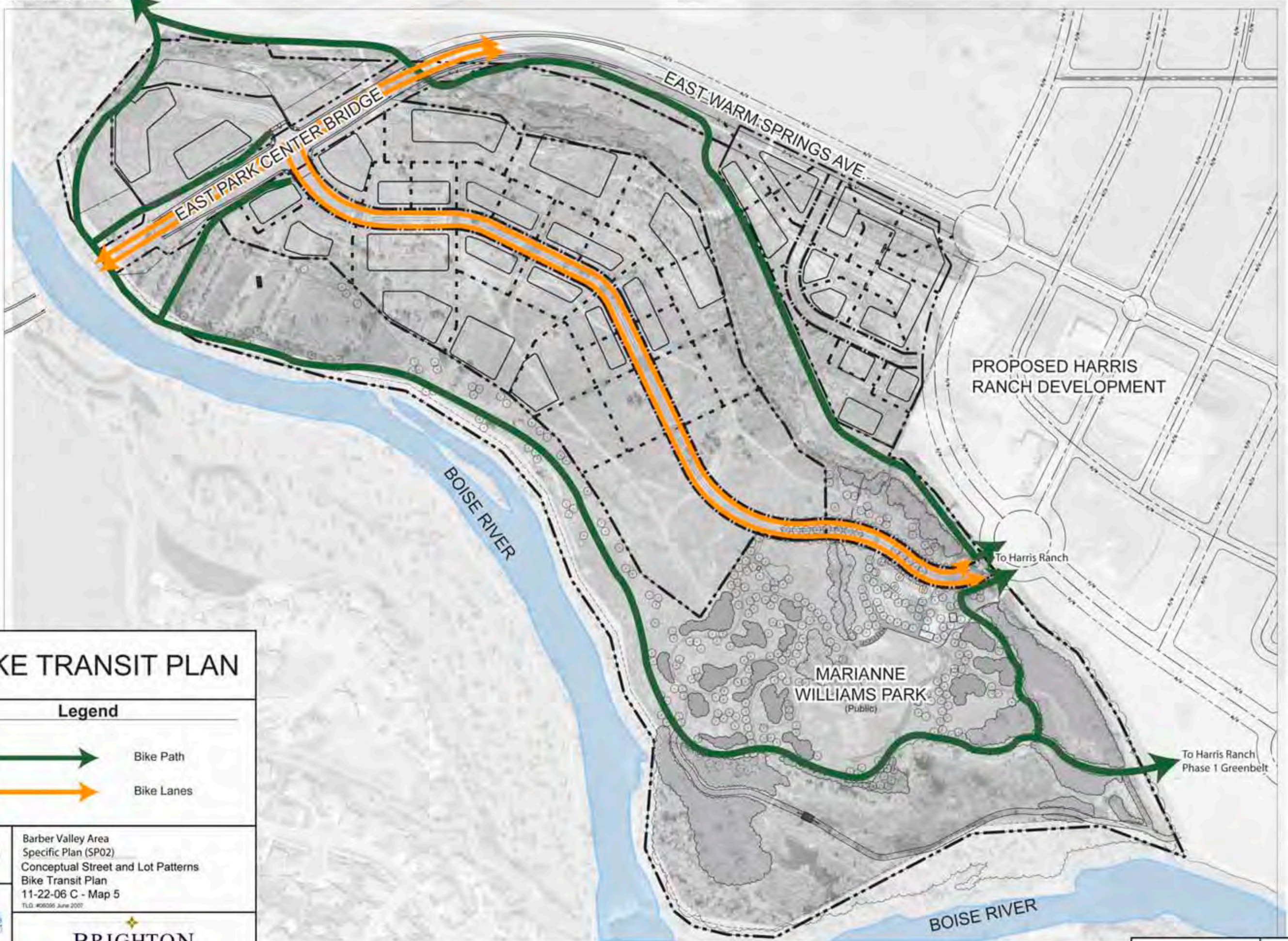
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Images shown are conceptual only and subject to change

0 329'

11-22-06 C Map 4

To Existing Ada County Greenbelt



BIKE TRANSIT PLAN

Legend

-  Bike Path
-  Bike Lanes



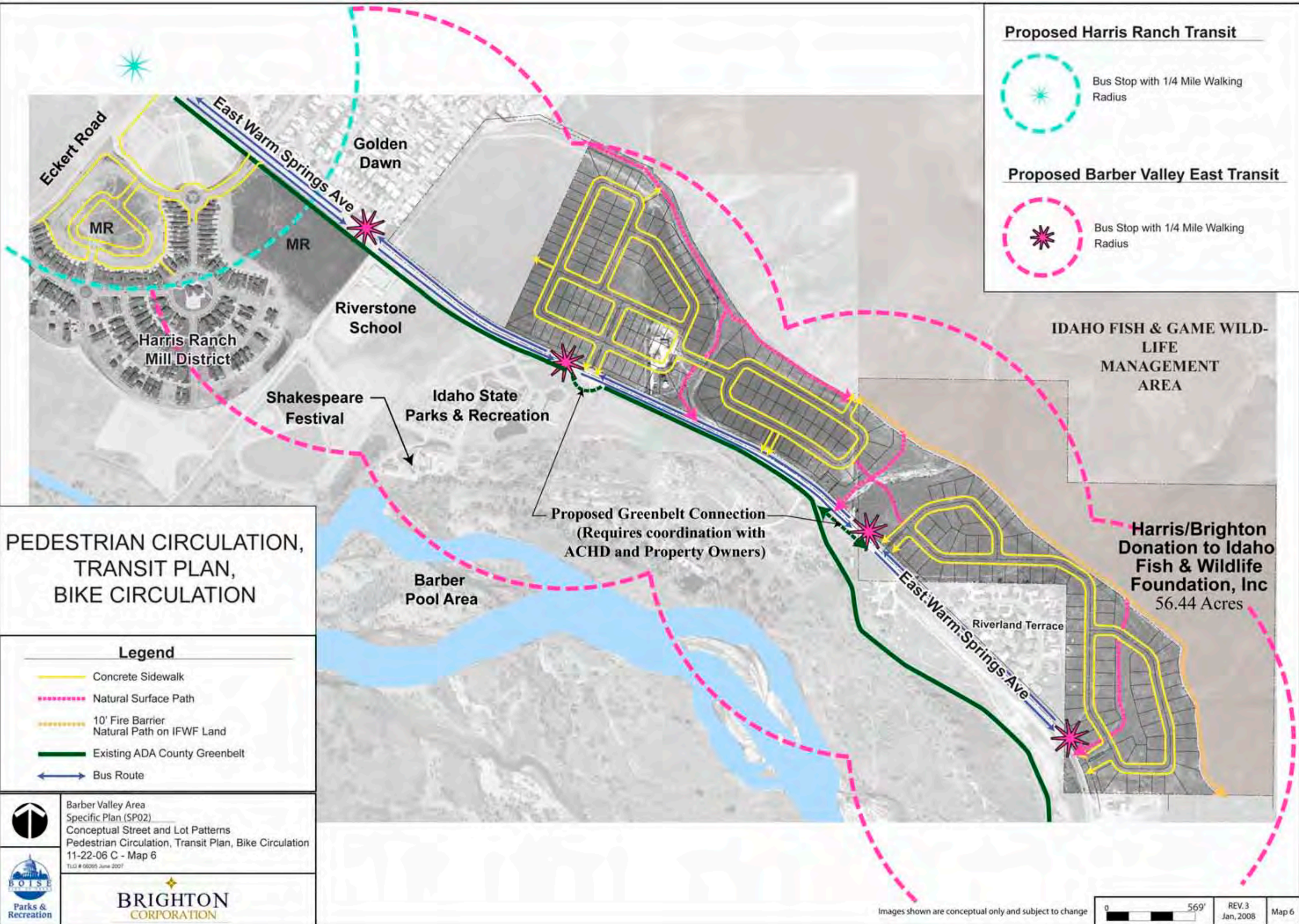
Barber Valley Area
Specific Plan (SP02)
Conceptual Street and Lot Patterns
Bike Transit Plan
11-22-06 C - Map 5
TLD #06096 June 2007



Images shown are conceptual only and subject to change



11-22-06 C Map 5



Barber Valley Specific Plan Design Guidelines

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Barber Valley Specific Plan Design Guidelines

i. Introduction

These Design Guidelines have been created to provide an aesthetic road map in support of the Barber Valley Specific Plan, and to insure that the development evolves as proposed and entitled through the Boise City Planning and Zoning process. The guidelines are organized around seven sections: the introduction, project overview, intent, site design guidelines, landscape design guidelines, architectural design guidelines (containing guidelines for commercial, mixed use, and residential building types), and signage guidelines for both the project and buildings within. Each of the sections is specific to the building type described. All architecture will be reviewed and approved by an Architectural Control Committee established by the development parameters, and maintained by the various owner associations within the development areas.

In addition, the following components are included in the Barber Valley Specific Plan design guidelines:

- a. Site design: providing overall site development intent, interface with existing and adjacent structures and amenities.
- b. Landscape design: providing overall landscape design guidance at the new building pads, internal parking, central development spine, and adjacent public green space.
- c. Architectural design: providing overall motivation for design imagery throughout the development including commercial architecture, mixed-use architecture, and residential architecture.



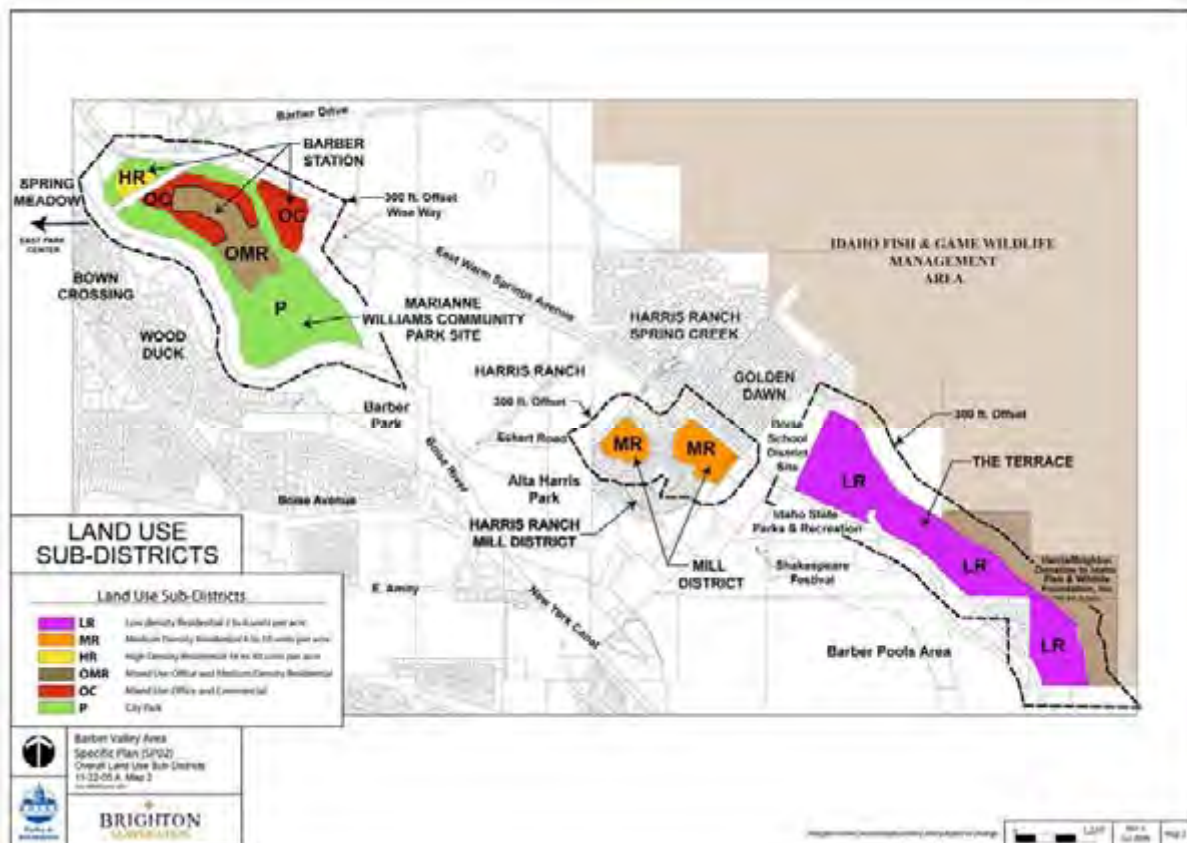
ii. Project Overview

The Barber Valley Specific Plan compromises roughly 236 acres of land in the Barber Valley immediately east of Boise City's core. The Specific Plan identifies three areas of land mass corresponding to intended uses based on conventional planning and zoning models with site specific adjustments to this area. These areas include Barber Station at the west end of the Valley, Mill District near the center of the Barber Valley, and The Terrace toward the eastern area of the valley. The base uses are currently in effect as part of the Boise City Zoning Ordinance.

iii. Intent

The Barber Valley Design Guidelines are intended to provide an aesthetic roadmap in support of the Barber Valley Specific Plan. The Design Guidelines are written as a timeless and flexible document with the understanding that the development will occur over an extended time period. The goal is to ensure the development is harmonious, resulting in complimentary imagery through appropriate architectural forms and common site amenities. Amenities may include architectural forms, elements, and materials, as well as street sections, sidewalks, paths, and open space development. Overall design and implementation shall prevail as established by the Barber Valley Specific Plan, and the City in response to the applicable building and planning codes.

All improvements within the Barber Valley Specific Plan's three planning areas: Barber Station, Mill District, and The Terrace will conform to the zoning and development criteria established under the Barber Valley Specific Plan Ordinance as adopted by Boise City. In addition to the Barber Valley Specific Plan zoning criteria, projects will be required to adhere to development covenants, conditions and restrictions (CC&R's) along with the development Design Guidelines. All projects must submit design documents to the Architectural Control Committee of the Barber Valley Development Offices for review and approval. Further submissions as required by ordinance will follow Barber Valley approval.



a. Location:

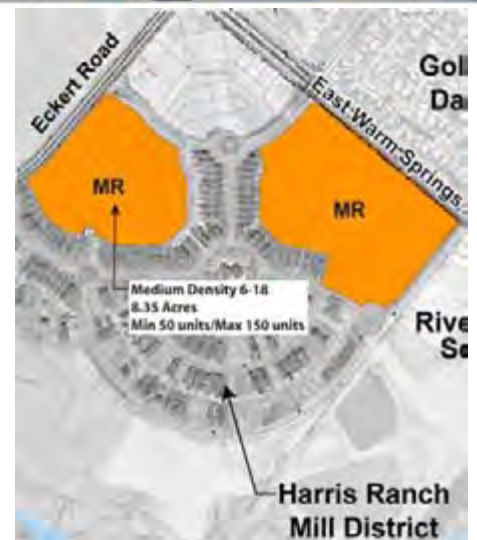
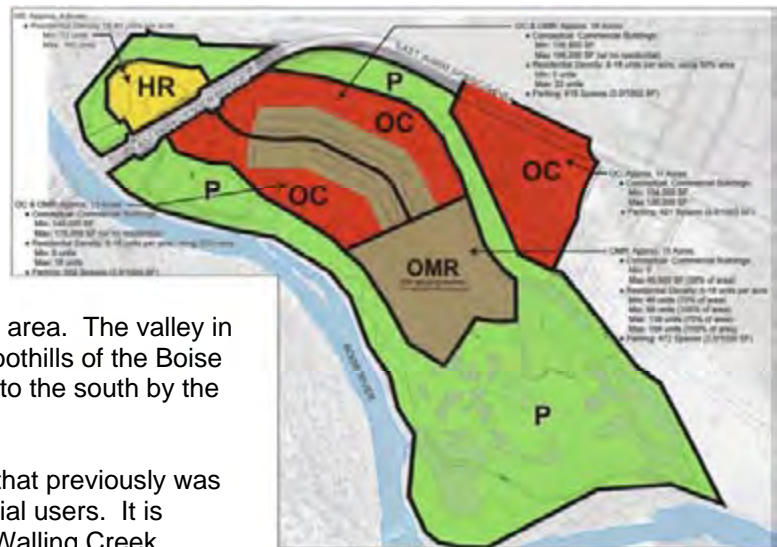
The Barber Valley Specific Plan encompasses three planning areas identified as: Barber Station, Mill District, and The Terrace. All three areas represent approximately 236 acres including the Marianne Williams Community Park (186 acres without the park), river bottom and lower foothills area. The valley in general is bounded to the north by the Foothills of the Boise front range of the Rocky Mountains, and to the south by the Boise River.

Barber Station is the western most area that previously was the site of a lumber mill and other industrial users. It is divided by a historic drainage known as Walling Creek.

Mill District is central to the project and is best described as level river bottom ground.

The Terrace, the eastern most area is nestled at the base of the foothills on predominantly flat land.

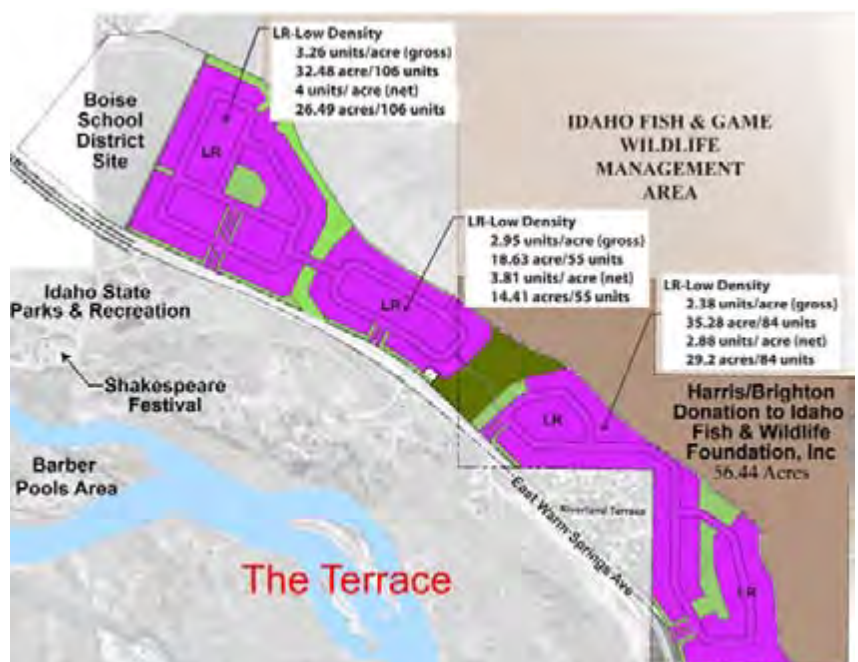
Access to the Barber Valley is from the East Park Center Bridge at the northwest from Warm Springs Avenue at the north, and highway 20/26 from the east. The new East Park Center Bridge will allow direct access to downtown Boise along Park Center Boulevard. The Warm Springs Avenue access will be rerouted to promote Park Center Boulevard. Access to the freeway system is direct from either east or west.



b. Land Uses within districts:

The land uses within the Barber Valley Specific Plan are:

- Barber Station – mixed-use commercial, office and residential
- Mill District – East Parcel – conceptual use in continuing care retirement community housing or medium density housing. West Parcel - Attached single family residential
- The Terrace – Single Family detached residential and single family attached residential



c. Character:

Historically, the land has been used for agricultural needs ranging from simple farm land to lumber processing. The existing context supports the utilitarian needs of the ground and provides no design context or model. The one exception is in Mill District which is surrounded by contemporary housing. The context in this neighborhood will be met with similar design aesthetics of the adjacent uses.

The architectural character acknowledges that all ground in the Barber Valley Specific Plan represents an important master planned development in southeast Boise. Within the three planning areas the intended character varies relative to the identified uses. It is important that the architectural character of each different building type be interesting, diverse, innovative, thoughtful, and compatible within the property boundaries, and that it meet the provisions contained in these design guidelines. The architectural character encourages variations of form, massing, and scale of the buildings, and the incorporation of high quality and appropriate building materials such as stone, brick, stucco, window and storefront glass systems, roofing, canopies, and building lighting. In addition, all structures will be responsive to the site location and amenities. Ultimately, the design intent of the guidelines is to foster creative, interesting, and timeless architectural and landscape designs throughout Barber Valley.

iv. Site Design Guidelines

a. Introduction

The site design guidelines establish the framework with which to approach the design and planning of the various development areas within the Barber Valley Specific Plan area. Included in this text are both planning components as well as implementation components. Placement of buildings is as important as the development of amenities throughout the development areas to insure a consistent level of finish in the Barber Valley Specific Plan area.

The objectives of the site development guidelines include:

- To support and amplify the goals of the Barber Valley Specific Plan, and Boise City Codes.
- To recognize the unique nature and location of the property within Barber Valley and the immediate environs.
- Responding to the area's uniqueness through the enhancement and creation of an interesting and aesthetically pleasing environment within the context of the Barber Valley Specific Plan.
- To encourage development that is visually understandable and meaningful to the users.
- To encourage planning and buildings of a high quality and appropriate character with a variety of expression and creativity within all areas of the development.
- To promote pedestrian accessibility throughout the development and its connection with the adjacent greenbelt, park property, pathways and neighboring development.
- To create a pedestrian scale in the design of streets, spaces between buildings, and the buildings themselves.
- To enhance the appearance of buildings and structures through site design.
- To create visual unity and continuity among parcels, neighborhoods, and adjacent properties.



b. Land Use

The Barber Valley Specific Plan includes three areas of development within Barber Valley which all respond to the site's terrain, views, and amenities including the Boise River, the Greenbelt, and the foothills. Those areas are identified below and represent three distinct planning and land use models. The overlay zones within the areas range from commercial to mixed-use commercial to residential.

- **Barber Station**

Barber Station responds to the immediate terrain, views, and amenities including the Boise River, the Greenbelt, and Walling Creek. The land uses are a deliberate mix of commercial office, commercial retail, commercial/residential mixed use, and various residential models. The mix is designed to create vibrancy and livability.

- **Mill District**

Mill District provides two distinct opportunities for varied housing product types within an area of existing residential structures to the south, and commercial structures to the north. The housing products include attached single family on the western site, and medium density or alternative continuing care retirement community to the east.

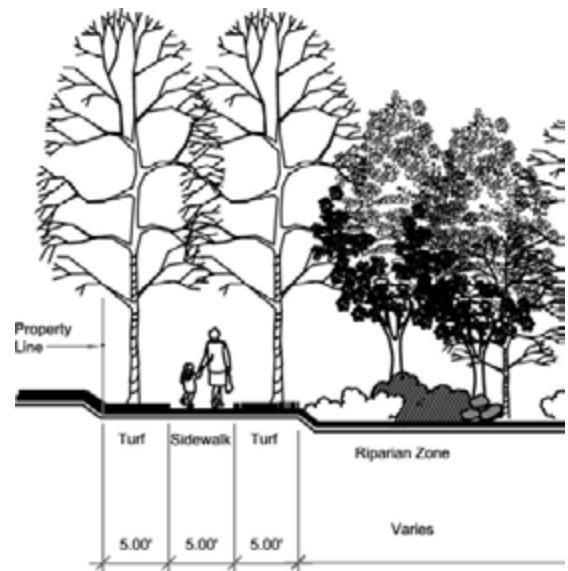
- **The Terrace**

The Terrace planning area includes a number of single family detached housing and single family attached housing products with green spaces, game corridors, open areas, riparian areas, and access to foothills trails for hiking and bicycling, among other opportunities.

c. Site Development

The site development of areas within the Barber Valley Specific Plan provides a visually distinctive and memorable experience to its users and residents. The overall concept for the site planning is the use of a network of landscapes, walkways, greenbelts, and sidewalks interconnected as ordering elements between structures. Site development is the framework associated with the placement of structures and related improvements throughout the Barber Valley Specific Plan areas including individual parcels within the specific development areas.

Related site improvements include but are not limited to parking, walkways, the network of streets and associated amenities including lighting, as well as pedestrian amenities. The green areas created by the Walling Creek easement, the Marianne Williams Park, and the continuation of the Boise City Greenbelt are all part of this framework. Additional green space includes public gathering areas, plaza and parks, wildlife mitigation areas, floodway mitigation areas, and game corridors. The resulting landscapes create a series of large outdoor spaces connected by structure placements, roads, and walkways throughout the Barber Valley Specific Plan areas.



1. Barber Station

The Barber Station plan area has been developed in response to the site's terrain, views, and amenities including the Boise River, the Greenbelt, and Walling Creek. The land use designations are a deliberate mix of commercial office, commercial retail (including banks, restaurants, and shops), commercial/residential mixed use, and residential. The residential options include multi-family condominium and townhouse, loft, and attached and detached single family housing. The mix is designed to create a vibrancy and livability with multiple opportunities for each. The Master Plan also responds to the adjacent Harris Ranch land uses, and will provide those residents with working, shopping, and recreating opportunities within Barber Station.



2. Mill District

The Mill District represents two distinct medium density residential parcels that are considered infill sites due to the adjacent developed ground. The base density and land use were part of the original Harris Ranch project. The parcels remain medium density residential sites and include uses supporting single family attached product on the western parcel.

The following schemes represent layout options for the western parcel identified as tan in the adjacent diagram. This planning area is a mix of attached single family housing units, as well as detached single family unit layouts. Open space is identified in green and provides linkages and connections though the property as well as encouraging strong deliberate ties to the adjacent neighborhoods.



scheme 1



scheme 2



On the eastern parcel the concept shown is a medium density attached multi-family congregate living product. This parcel supports a “Continuing Care Retirement Community” or CCRC multi-venue congregate living. The mix includes: independent living apartments, independent living cottages, assisted living apartments, memory care beds, and skilled nursing beds. A combination of surface parking and below structure parking will provide for increased green space at the ground plane.

The Continuing Care Retirement Community, as presented or redesigned, must meet the following minimum standards:

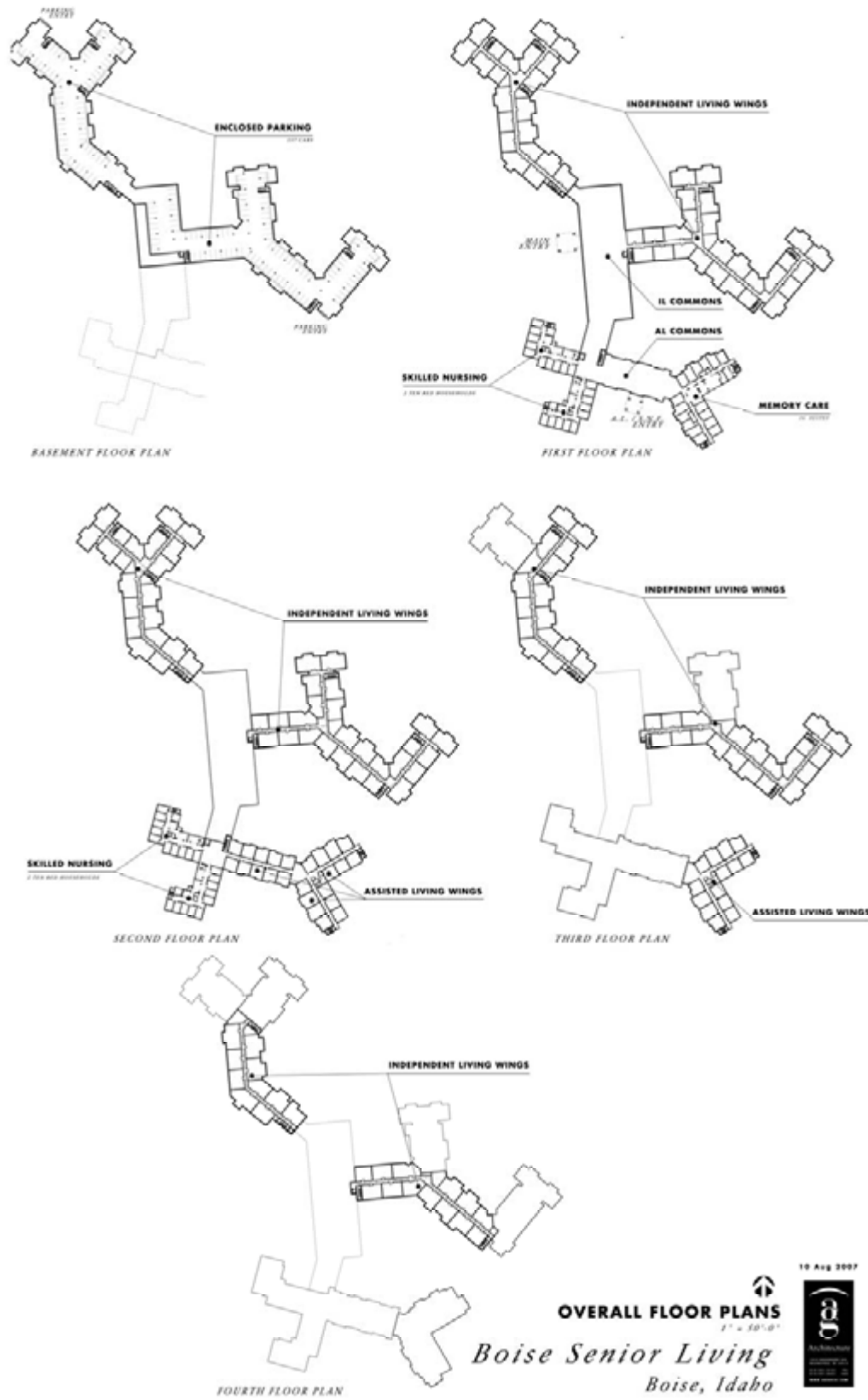
- i. The majority of the building shall be setback from Warm Springs Avenue to allow for landscape and outdoor space along this street frontage.
- ii. Buildings shall be stepped in height. The structures shall step from two to three to four stories from both the east and the west street frontages. Any four story building shall be located central to the site away from the existing single-family residential structures already developed in the area.
- iii. The building footprint and façade shall be highly modulated and well articulated in wall planes and materials.
- iv. Vehicular site circulation shall be internal to the site and not highly visible from Warm Springs Avenue, subject to ACHD requirements regarding street access.



Conceptual Site Plan



Conceptual Site Perspective



Conceptual Floor Plans



Two Story Partial Elevation



Three Story Partial Elevation



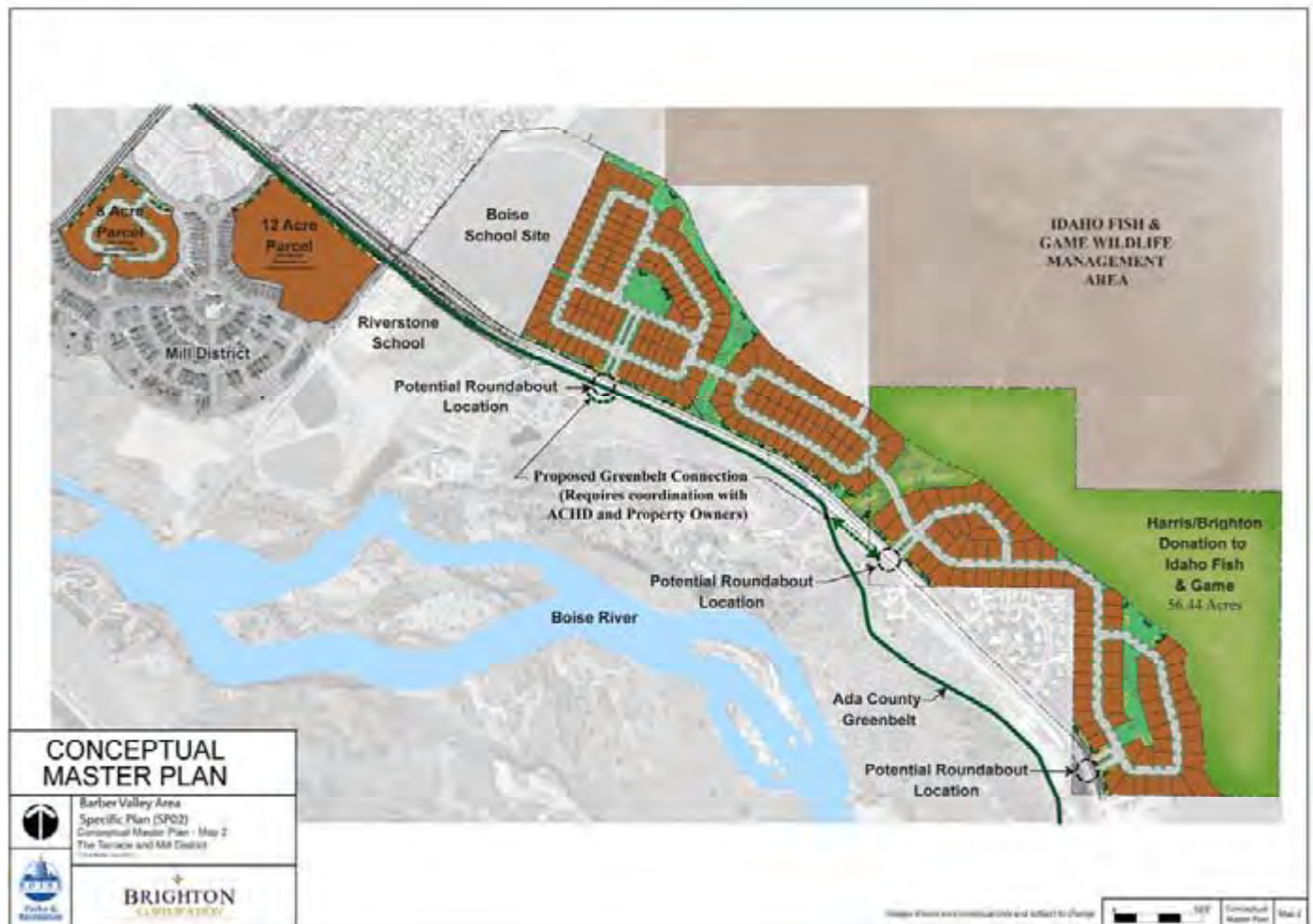
Four Story Partial Elevation

Conceptual Elevations

3. The Terrace

The Terrace is a blend of single family detached housing and single family attached housing with green spaces, game corridors, riparian areas, open areas, and access to both the Greenbelt and foothills trails. The general location is adjacent to significant open area to the north that is preserved from development as Idaho Fish & Game Wildlife Management Area and Idaho Fish & Game land. As a result the Terrace is situated up against one of the valley's premier wildlife habitat areas.

The Low Density LR designation promotes individual housing styles within a cohesive neighborhood, dictating the integration of high quality building materials within an exception design.



* Individual lot layouts are conceptual in the above diagram.

v. Landscape Design Guidelines

a. Introduction

The term landscape as used in this section refers to those elements which give form and character to the physical and natural environment of the Barber Valley project. Those elements include but are not limited to the placement and variety of planting margins, sidewalks, paths and trails, drainage swales, lighting, screening of service roads, entry features, special features, etc. Providing for a desirable naturalistic or park-like setting is the goal of this section of the design guidelines, as well as standardizing this landscape within the broader framework of the development.

b. Landscape Theme

The landscape theme for the Barber Valley project aims to reflect the natural plant materials and growing conditions commonly found within the local area. Within the project area, the aim is the creation of places with different spatial characteristics. These may relate to the urban nature of the central core areas of development, to the park-like feel of the greenbelt, or the natural character of Walling Creek or other riparian areas.

The landscape design guidelines for public right of way and for vehicular and pedestrian corridors within Barber Valley reflect several important goals: to strengthen the area's identity, to create a pleasant pedestrian environment, and to achieve efficient and safe traffic flow. From these goals a number of objectives explain the purpose of the recommended design guidelines:

- To establish consistency in the design of streets within the Barber Valley project area.
- To create a strong visual framework through street design that unifies the project and that provides the background for individual expression in the design of specific project areas and parcels.
- To create streetscapes that are visually distinctive and memorable to users and residents of the project and thus strengthen the identity of the site.
- To increase pedestrian accessibility, safety and comfort throughout the project.
- To improve traffic flow and safety in the entire Barber Valley project area.

c. Landscape Standards for Collector and Local Streets

The purpose of these standards is to provide a clear basis for selecting the appropriate type of tree and landscaping for each street in the Barber Valley Specific Plan area. The visual importance of street trees is critical to the identity of the area, as they provide the visual coherence that ties together the streetscape. Their form, foliage, color and smell create special character for a particular street. It is important that all street trees have some individual personality. This variation helps users to know where they are in the area. It also contributes to the uniqueness of the area. The suggested guidelines below build on the present Boise City policy, but offer some variation so that individual streets will take on special color and personality through careful selection and placement of trees, shrubs and groundcovers. Although the term street tree is applied, these guidelines also apply to the vehicular and pedestrian corridors that occur through the Barber Valley project area.

- Class II trees are recommended on all large collectors and along residential collector streets. Species should remain the same along each road until reaching intersections or landscape features where transitions to another species may be appropriate.
- Class I or II trees are recommended in each residential cluster, loop, or cul-de-sac. These trees should vary in variety from cluster to cluster and to each residential unit.
- Medium-size canopy trees are placed at approximately 35 foot intervals between the curb and sidewalk.
- All street trees have a minimum 2" caliper at the time of installation.
- The property owner fronting the street provides a min. of five (5) feet of lawn or groundcover between the edge of the sidewalk and edge of any site development (parking lot screens, shrub landscaped areas, etc.)
- Pedestrian crosswalks which cross collectors or local streets, or major driveways to developments are paved in concrete. Where concrete crosswalks abut asphalt streets or driveways, a proper transition is required between the concrete and asphalt to avoid excessive wear and damage.
- The abutting property owner is responsible for maintaining the improvements within the public right of way from the property line to the edge of the curb. This includes street trees, groundcover areas, irrigation and sidewalks.
- The entrances to the residential areas are to be defined with an appropriate planting and signage area at each entry location.
- No Class I trees will be allowed adjacent to public pedestrian walkways.



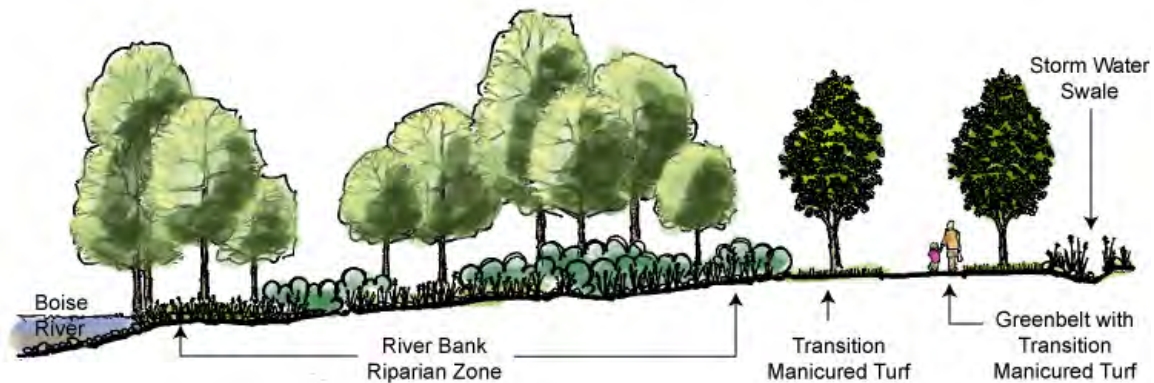
Conceptual section through Barber Station Drive showing street trees

d. Planting Design

The Barber Valley project area encompasses a large geographical space and a number of different proposed uses from commercial to retail to residential. Most plants have associations with certain landscape types, and so the design of planting - of trees, shrubs, groundcovers and grasses - should reflect the context in which they are located whether it is urban or natural or a transition between the two. Several landscape types are identified here with general guidelines on planting that promote the creation or enhancement of place. The use of semi-mature plant materials is encouraged to establish the character of the development. At a minimum, the size at time of planting should be that which is set forth in the Boise City Code.

Greenbelt and river

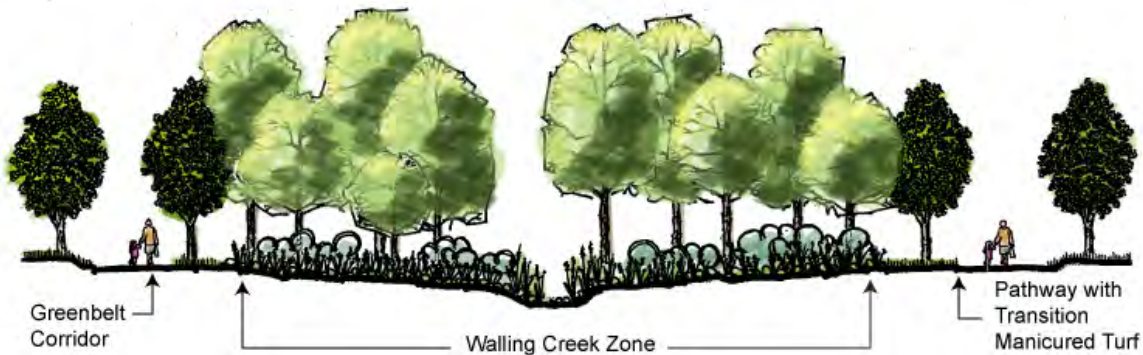
Landscape design of areas adjacent to the greenbelt or other park-like areas should reflect the transitional nature of the greenbelt, which buffers both commercial or residential development, and the natural elements of the Boise River. Trees and shrubs and groundcover may transition from more ornamental in character to more riparian or native, remaining in context with built forms or natural features as appropriate.



Section through Boise River and Greenbelt. Landscape design in adjacent development parcels is to reflect the character of this area.

Walling Creek

Development adjacent to the Walling Creek should primarily reflect the natural character of this riparian area, by the use of native shrubs, trees and grasses. Large expanses of manicured lawn or ornamental planter beds should be avoided. Maintenance may be kept to a minimum to encourage a semi-natural appearance in these areas that provides a transition from the built environment to the riparian environment.



Section through Walling Creek showing character of existing area. Design of adjacent parcels should be in context with this natural riparian environment.

Urban

The mixed use and retail areas of Barber Station are intended to provide an urban core to the development as a whole. Street tree planting is addressed separately in these guidelines, but the general approach to all planting should be to select species that enhance the visual experience of the public as they use these areas, whether street trees, planters, hanging baskets, or containers. Planting schemes should be coherent, yet provide diversity through color, form, texture, and smell. Contrast between plants and the built landscape is often as important as blending the two. Include plants that provide interest by changing foliage or flowering at different times, and provide sufficient evergreen plant material to create some year-round foliage effect.



Urban core of Barber Station showing conceptual tree planting, paving design and walkway connections from adjacent parcels.

Residential

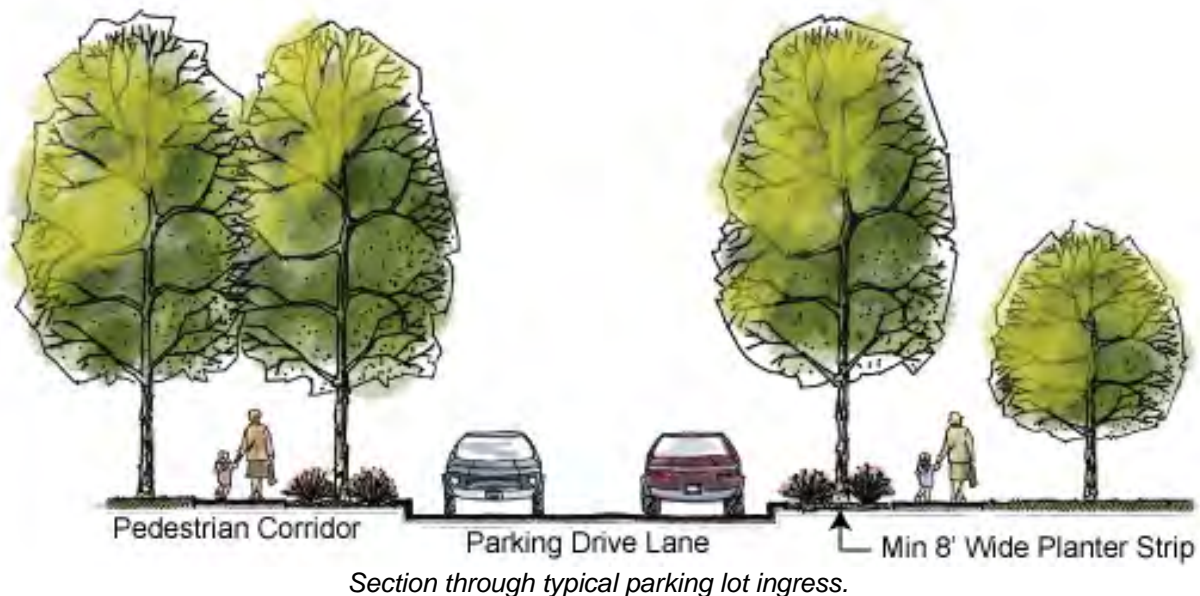
The Barber Valley project includes residential development with varying densities and accompanying diversity of architectural forms. Landscape design in these areas should respond to the context of each residential area. High density areas may be more urban in feel and so may borrow more from the guidelines in the section for urban landscape design, whereas low density areas may relate more to adjacent natural landscapes and employ the use of native planting on a greater scale. In any case, residential developments should be designed with unique characteristics to create places that foster a feeling of individual identity for the local residents.

e. Trees in Parking Lots

Trees in parking lots are required to create smaller and friendlier spaces for people, to maximize the positive environmental effects that trees provide, and to reduce the impact of solar gain on cars and buildings. Landscape planting area requirements for parking lots will be as described in the Boise City Code. Specific requirements include:

- Provide class II and III sized trees within the parking lot at the density described in the Boise City Code.
- Locate the trees to frame building entryways, signage and to provide overall appropriate visibility for retail business.
- Use a species of tree that will permit initial limbing of seven (7) feet. Prune trees regularly to achieve an ultimate limb height of twelve (12) feet.
- Protect trees from overhanging bumpers with concrete curbs and allow for a minimum of four (4) feet between the curb and the center of the tree trunk.
- Use one tree species in parking lot areas unless developments are extraordinarily large or where visual distinction would be appropriate. For variety, vary tree species from development parcel to development parcel.
- Planters within the parking fields shall be a minimum of 8' wide to allow for Class II or III tree. A 6' wide planter may be utilized in conjunction with a Silva Cell or equal product. No Class I trees will be allowed within parking lot planters.

The ingress routes to the main parking areas from Barber Station Drive are intended to resemble the adjacent streets in the development. As such, tree planting layout and groundcover planting should be similar to that found on similar collector streets.



f. Parking Lot Screening

To reduce the visual impact of rows of parked cars and the glare of headlights at night, parking lots are to be screened from view where they border public streets. High screen walls are not allowed due to potential security and safety concerns.

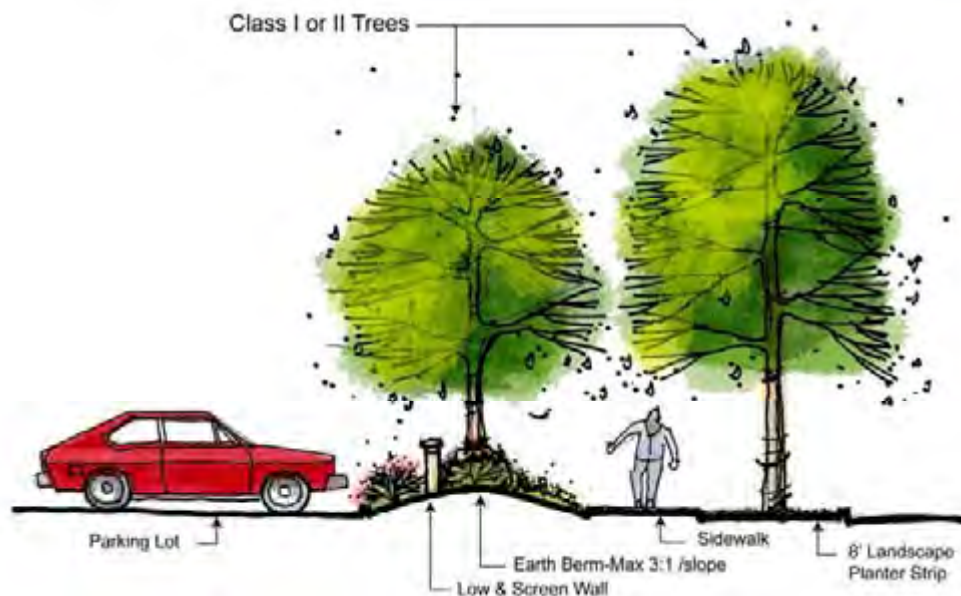
- Maximum screen height is 42 inches or as described in the Boise City Code. This enables people to see out and be seen from the street and/or cars.
- Parking lot screens may be made of all plant material or a combination of low walls or earth berms and supplementary plant material.
- The plant material in all-plant screens should be of such a type and number to reach a height of 42 inches within three years and to be approximately 75% opaque year round.
- Designs for wall screens shall include some low foundation plant material to visually soften the wall. Walls may be constructed of wood, masonry, or concrete, but must be complimentary to any adjacent buildings and in context with the surrounding landscape.
- A maximum height of 42 inches is recommended to permit visual surveillance to and from the street.

Similar to parking lots, drive through lanes can be visually intrusive and require the following considerations:

- Wherever feasible, orient the drive through lane to be perpendicular to public streets to reduce headlight glare into oncoming traffic.
- Visually screen drive through lanes from view along public streets. Screening may be accomplished using plant material or a combination of low walls or earth berms and supplementary plant material as described for parking lots.



Example of screening of parking lot adjacent to public street with berm and planting.



Alternative example of screening of parking lot with berm, planting and screen wall.

g. Storm water swales

Walkways, paths, plaza and park areas are intended to drain off into swales that treat all storm water. In addition, this swale system is the primary drainage way for local natural vegetation and is intended to accommodate all storm water capacity. Swales in landscape areas should be planted with grasses and shrubs to reflect both the growth conditions likely to be present and the character of naturally wet areas, while not impeding the capacity of the swale to dissipate storm water. Boulders and cobble rock may also be used as elements of the design of swales.

h. Site Furniture

The appropriate addition of site furniture is encouraged to increase the aesthetic quality, enjoyment and safety of plazas, walkways and public open spaces. These include, but are not limited to: benches, planter boxes, trash receptacles, bollards, bollard lighting, bike racks, picnic tables, shelters, trellises and tree grates. While product manufacturers, materials or colors are not specified in these guidelines, the design and selection of these components of the landscape should be complimentary to other site furniture in the development, to the building(s) to which they relate in terms of their material, color, form etc., and to the context of the surroundings, whether it be an urban hardscape or a natural riparian location. Particular attention shall be paid to site furniture in the direct vicinity of core areas such as Barber Station Drive, where materials, colors etc. shall be consistent and complimentary with the design standards already in place.

Site furniture should be placed appropriately, taking care to minimize visual clutter, with placement of furnishings logically in groups or separately based on the use of the space and the anticipated flow of pedestrian or vehicular traffic, and to ensure or increase safety of the space being used. Spatial zoning around building and in walkways is encouraged to differentiate between zones of pedestrian movement, street furniture and commerce.



Conceptual example of design and layout of street furniture, walkways and paving.

i. Walkways and Paving

One of the overall aims of the site design guidelines is to create an interconnected walkway and path system that will connect all parcels and buildings within the Barber Station project area. Parcel development shall include:

- Provision of one or more walkways that directly links the pedestrian entrances of businesses within the retail and office development to the public pathways.
- Interconnection of development parcels/buildings by providing pathways along direct desire lines to other buildings, plazas, open space or walkways.
- Delineation of walkways within the retail and office development from parking area paving by using a contrasting paving material. The material shall be complimentary in terms of color, texture and material to the surrounding buildings and context.
- Walkway surface patterns and scoring depth that are compatible with the comfort and safety needs of pedestrians, especially the elderly and the handicapped.
- Particular attention shall be paid to paving design and layout in the direct vicinity of core areas such as Barber Station Drive, where materials, patterns etc. shall be consistent and complimentary with the design standards already in place.
- Interconnection of adjacent buildings by providing clearly marked pathways both to the primary pedestrian pathway and from building to building.



Typical section through pedestrian corridor from commercial areas to Barber Station Drive

j. Lighting

Lighting will be an important means to enhance site security throughout the development. Lighting will increase the accessibility of areas not normally useable without lighting such as walkways. It will deter activities that tend to exist where no lighting is present, and it will help create a sense of confidence among users having to access areas that otherwise would be dark.

Site lighting includes streetlights, walkway lighting, parking lot lighting, and general site and landscape lighting. Inclusion of all forms will enhance Barber Station's development accessibility in evening and night times. Another type of lighting is that contained on or near the building structures to enhance the architectural aesthetic.

k. Streetlights

Streetlights are intended to illuminate the roadway, sidewalks, and adjacent walkways for the safety of pedestrian as they interact with vehicles. The Architectural Control Committee will identify the streetlight design while the engineers will identify the necessary luminaries per the Ada County Highway District.

The following are the basic principles for street lighting:

- All street lights are to be pole mounted non-glare luminaries with a design complimentary to the established Barber Station lighting, and no taller than 20'.
- All luminaries are to have an internal shield and/or reflector, which direct the light beam downward to the traveled surface.
- All streets, courts, cul-de-sacs and parking lots are to be illuminated. The minimum light level is to be 1 foot candles.

I. Walkway Lighting

Walkway lighting is intended to illuminate all walkways within the development. The lighting will enhance the security of each walkway while increasing the useable time pedestrians and users can feel safe using the system.

Following are the basic principles for walkway lighting:

- Provide lighting along all walkways and pathways.
- Minimum foot candles along walkways should not be less than .25 foot candles and not more than 6-8 foot candles directly under the luminaries.
- Avoid dark spots and abrupt changes in light levels.
- Select fixtures which are harmonious that the design of the development and that have a pedestrian scale.
- Only walkway light fixtures that prevent "bright sky" effects shall be allowed.

m. Site and Landscape Lighting

Site and landscape lighting enhances those areas throughout Barber Station that are adjacent to buildings and structures. This lighting can also augment the walkway lighting within the development, and enhance the architecture. Lighting should be established and installed to prevent "bright sky" effects.

Following are the basic principles for site and landscape lighting:

- Create site and landscape lighting to promote safety, security and visual attractiveness.
- Use fixtures with indirect light sources (i.e. concealed from the users' line of sight) such as ground mounted lights or foliage lights.
- Avoid creating dark spots, which invite crime.
- Help mitigate the effects of night blindness by avoiding any sudden changes in light levels.
- Use site and landscape lighting as a means to harmonize building and site and landscape areas.
- All site lighting and landscape plans shall be developed to coordinate the placement of trees and lighting fixtures and avoid tree/pole conflicts.

n. Fences and Walls

If fences or walls are used to provide privacy, control circulation, provide security, and emphasize entryways next to sidewalks, the following guidelines must be met:

- Fences located adjacent to public streets must be visually transparent, such as wrought iron railings or tubular steel fencing, and powder coated.
- Fences shall be "stepped" rather than sloping with the grade.
- Wire fences constructed of "industrial" type materials such as chain link are not allowed when located

- adjacent to public streets or parking areas.
- Walls shall be detailed with reveals, caps, overhangs, soldier courses or other added visual interest.
- Walls shall be level, or "stepped" rather than sloped with the grade. Walls with a finished face of flat poured concrete or CMU are not allowed when located adjacent to public streets.
- Colors, design and materials of all fencing shall be complimentary to adjacent buildings and the landscape context.
- Refer to the section on Service Areas for further guidelines.

o. Service areas

All service functions within the retail, office, and flex space portions of the development are required to be screened from public view. (See architectural guidelines). This is to be achieved as follows:

- Screen dumpsters and recycling bins from public view with a combination of screen walls and plant material. All walls should be constructed of durable materials to withstand normal use and are to incorporate the same material as used in adjacent buildings.
- The height of plant materials and walls should be equal to the height of the dumpster and/or recycling bin at the time of installation.
- Visually separate loading dock areas from public view with landscaping or walls and landscaping.

p. Water use and Irrigation

All landscape areas shall be served with an automatic underground irrigation system. An irrigation plan is required for all parts of the development prior to construction that shows:

- Irrigation performance specifications including design requirements, materials and construction methods.
- Head layout, sleeve, pipe, and valve sizing and locations.
- Backflow preventer and controller location.
- Available gallons per minute, water pressure and point of connection.

At a minimum, the performance specifications shall address the following requirements:

- Specify an appropriate backflow prevention device.
- The irrigation shall be designed to provide 100% coverage with head to head spacing or triangular spacing as appropriate.
- Sprinkler heads shall have matched precipitation rates within each control valve circuit.
- Sprinkler heads irrigating lawn shall be on a separate zone or zones from those irrigating trees, shrubs.

Water-Wise landscapes promote conservation of water, use of indigenous plant species and reduced water costs associated with landscape irrigation. The following design considerations should be employed as practicable:

- Plan and design for water conservation and aesthetics from the beginning of a project.
- Create practical turf areas of manageable sizes and shapes based on appropriate uses.
- Water budgeting - group plants of similar water needs together, then experiment to determine how much and how often to water the specific site.
- Use native plants or introduce drought tolerant species.
- Use soil amendments like compost or manure.
- Use mulches such as woodchips, especially in high and moderate hydrozones.
- Irrigate efficiently with properly designed systems and by applying the right amount of water at the right time (water management).
- Maintain the landscape appropriately by mowing, pruning and fertilizing properly.

q. Maintenance

The property owner, homeowner's or business association shall be responsible for the continual adequate maintenance of the landscape and irrigation system required by and shown on the Final Plat.

All landscape and associated materials shall be continually maintained including irrigation, weeding, pruning and replacing in a substantially similar manner as originally approved. The following standards shall apply to all landscape areas and materials:

- All living plant materials, as indicated by the Final Plat must be maintained. The Barber Valley Design Review Board (BVDRB) must approve replacement or alteration of plant material.
- Non-living ground covers, such as rock or organic mulch, must have 100% ground surface coverage and be maintained at the required depth.
- All plant material including trees, shrubs, groundcovers, vines and turf must have a 100% ongoing survival rate.
- Any dead or severely damaged (as determined by the BVDRB) plant material shall be replaced by the owner or assigns within six months of notification by the BVDRB.
- Pruning of plant materials shall not drastically alter the natural growth pattern and maturing size. Tree pruning within City right-of-way is allowed by permit only and must be performed by a City approved contractor. Topping is expressly prohibited. If the City determines that pruning has occurred that violates this requirement, the owner will be required to replace the affected plant with an equal plant within six months of notification by the City. This requirement also applies to plant material affected by storm damage.
- Plants infected with insects or disease must be treated appropriately or removed from the property, as required by the City. Removed plants must be replaced with new, equal plant materials as determined by the City.
- Weeds must be abated and removed.
- Tree grates shall be widened to accommodate the growing tree trunk and prevent girdling of any trees planted in tree wells within sidewalks or other public rights-of-way.
- Turf areas generally require periodic mowing, aeration, de-thatching, fertilization, and weed abatement. Turf and grass areas must be maintained in a healthy condition without areas of dirt or dead grass, as determined by the BVDRB.
- Irrigation is discouraged in the heat of the day (between the hours of 10 a.m. and 6 p.m.) in order to reduce evaporation. Excessive water run off is not permitted.
- Irrigation systems shall be maintained and periodically adjusted to assure watering efficiency and conservation methods. Replacement parts shall match or be compatible with the system requirements

vi. Architectural Design Guidelines

a. Introduction

The architectural design guidelines provide an aesthetic framework under which physical structures are designed and incorporated into the site. The guidelines address site placement in conjunction with the Site Design Guidelines, building form, materials, and finishes. The Architectural Design Guidelines include specific provisions for the building types identified below:



1. Commercial Buildings Introduction

This section represents commercial buildings allowed in specific zones independent of mixed-use and or residential zones as defined by City code, and the Barber Valley Specific Plan Zoning Ordinance. Commercial buildings are specifically intended to be located in Barber Station, and may include one, two, three, and four story structures that are commercially oriented in uses. Commercial uses are identified in the Barber Valley Specific Plan Zoning Ordinance uses matrix.

These guidelines address the opportunities of form, building height, imagery, proportion, and elements of building structures. The building elements include entrances and storefronts, windows and doors, roofs, materials and colors, exterior lighting, building signage, and site relationship among others.

a. Form

Architectural form in commercial building types should be varied based on location within Barber Station, the uses, and the physical adjacencies. Buildings identified as strictly commercial office are most likely located adjacent to the Boise City Greenbelt and Walling Creek, and will be stand alone structures exposed on all elevations. These buildings may be two to four stories, with articulation of facades that may include stepping in plan and elevation.

b. Height

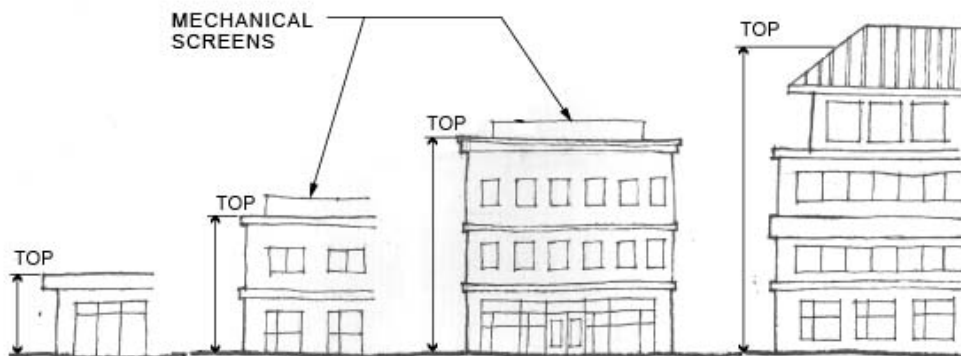
Building height within the Barber Valley Specific Plan area will be limited by the Barber Valley Specific Plan Zoning Ordinance. All of the commercial structures will be held to the height limits specific to the zoning area. Commercial zone height limits vary from forty five feet to fifty five feet.

Measurement of building height is per the Boise City Zoning Ordinance:

HEIGHT, BUILDING:

The vertical distance from the grade to the highest point of the coping of a flat roof or to the deck line of a mansard roof or the average height of the highest gable of a pitch or hip roof.

The ordinance recognizes the challenge with mechanical screening and has exempted it from the height measurement when determining the building height.



Measurement diagrams for one to four story buildings

c. Imagery

The aesthetic imagery of commercial structures in the Barber Valley project are based on building size, height, form, materiality, and composition of all visual building elements. All of these components are expected to inform the imagery of the structure as a three dimensional form within the environment. The design guidelines are written such that the building designer is motivated to use all the tools available to create a structure of interesting design, using high quality materials, and in a fashion that speaks to permanence, longevity, lasting quality, and is contextually responsive to the surrounding development and structures.



1-story commercial office / retail buildings



2-story commercial office building



2-story commercial office building



3-story commercial office building



4- story commercial office building



Hotel



bank

d. Proportion

Buildings may be of a scale and proportion that relates well to adjacent buildings without dominating, overwhelming or appearing insubstantial in relationship. Long walls may be relieved with offsets, balconies, projections, recesses, or other architectural features. The façade of buildings shall be articulated into architecturally-distinct sections. Articulation can be achieved by change in plane, material or color.

The composition of elements should recognize the human scale through material changes, and or articulation within the composition, and building form modulations. Facades are encouraged to incorporate visually continuous details. These may be interrupted by windows and doors, as well as form modulations.



e. Architectural elements, components and details

1. Entrances and Storefronts

Entrances and storefronts typically identify the entrance to a building and define major from minor elevations. They represent a dynamic tool and element in defining primary and secondary access points as well as set the tone for a structure. Similar to windows, they are infinitely flexible in configuration giving the designer limitless opportunities in composition. They can be a scalar tool, lending proportion and size to a building's composition. They can enhance building modulation by integration in a design at all levels and applications.

Storefronts shall include the following elements:

- Large storefront windows.
- Doors easily identifiable.
- Visually attractive.
- Visually strong within composition.
- Awning or canopy at entrance.
- Horizontal human scale element(s).





Other pedestrian friendly elements are encouraged:

- Pedestrian scale signage.
- Planter boxes and hanging baskets.
- Public art such as sculpture or murals.
- Seating such as chairs or benches.

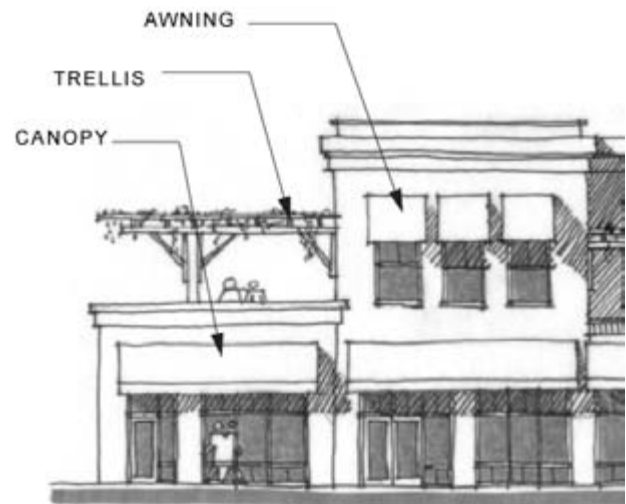
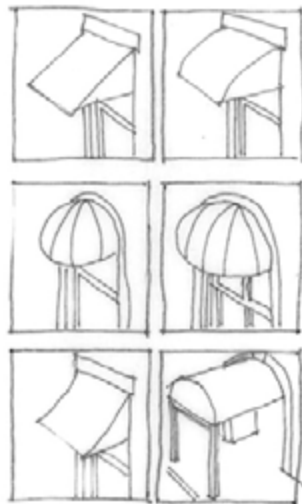
Entrances, whether independent or within a storefront assembly, should be oriented to the street and easily identifiable. Elements identified above should be a part of the composition including: a protective covering such as a canopy or portico. Other additional enhancement should be provided near the entrance such as seating, ornamental potted plantings, or a special paving pattern.

Entries to office or reception areas for individual uses shall be on the front or approach side of the building, shall be easily visible and distinguishable from adjacent parking areas through the use of architectural elements, and shall not rely on disproportionately scaled signage.

2. Canopies, Trellises, and Awnings

Canopies, trellises, and awnings serve a number of purposes both functionally and aesthetically. They provide coverage from inclement weather, shade from sun, and if done well, can enhance the compositional aesthetic of a building. They can be constructed of permanent materials or temporary fabrics. In addition to protection they can be transparent or translucent, enhancing the experience of the pedestrian as they engage the canopies.

Trellises are also an element that provide protection from the sun, create a framework to grow plants and vines from, and is another tool to enhance a building's aesthetic. Trellises can also be used as a landscape element fully independent of any building. Material can be metal to wood to vinyl. Finishes can vary depending upon the aesthetic desired. Trellises can be placed at the ground level or on upper floors, decks, and walls.



3. Windows and doors

Windows and doors – similar to storefronts and entrances, provide a strong design element that applied properly reinforces the building composition and aesthetic. Both Doors and windows can establish a patterned rhythm within a building. Placement within a wall can create the impression of depth and solidity. Placed at the face of a building's surface material, the imagery is much different. Placement is very important in the composition.

Doors identify commerce and entry, and should be highly visible and easily legible by the public. The sense of entrance should be reinforced by the composition of an entry system, placement of the doors, specific style and material.

Windows come in all sizes and shapes, materials, and colors, as well as operability, transparency, and ability to join in configurations limited by design. Shapes include ribbon windows in aluminum frames, simple divided windows in single openings, to ganged groupings of two or more windows "mulled" together to create a larger assembly. Selection of window type and style, as well as material must enhance the overall composition of the building.

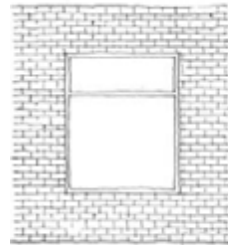
Openings shall be appropriate to the general aesthetic of the office building, and may include individual 'punched' windows, or groups of openings, ribbon windows or storefronts.

Entry doors may be recessed to create a modulated 'street wall' and create an interesting contrast of shade and shadow.

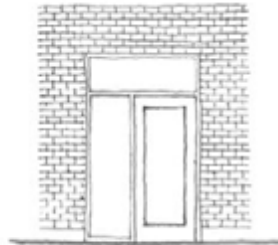
Entry assemblies and doors may be celebrated with contrasting colors, high quality materials, and surrounds to call attention to building entrances.

Windows shall be of differing sizes reflecting the various public or private rooms within.

Ground level windows shall extend above an 18 to 24 inch base.



window in brick wall



door in brick wall



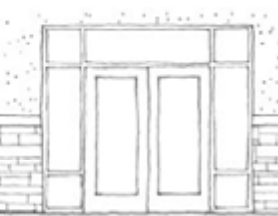
window in brick and stucco wall



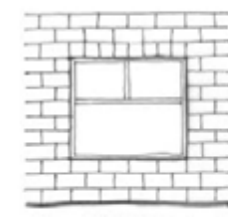
door in brick and stucco wall



window in stucco and stone wall



door in stucco and stone wall



window in CMU block wall



door in CMU block wall

Recessing and trimming of doors and windows is highly encouraged to create shade and shadow across the face of the building.

Doors and windows should be consistent throughout comparable locations on/in the building.

To create activity on the sidewalk special attention should be given to windows and doors as they offer activity and visual excitement to the commercial areas of the Barber Valley project and are highly encouraged to have active doors every 30' along storefront buildings

Window shading devices are highly encouraged for summer sun protection.

Door / window compositions should be compatible with all other opening installations in a building design.

4. Exterior Lighting

Exterior lighting is intended to serve three purposes-enhance safety, conserve the 'dark sky,' and enhance the building aesthetic.

- Low intensity light sources shall be used with frosted or translucent lenses and 'cut-off' fixtures.
- Light sources shall not be visible off-site.
- Up lighting of trees, vegetation, buildings, outbuildings, and landscape structures is allowed.
- Holiday lights are allowed for seasonal celebrations.



5. Materials and Colors

Materials for buildings at Barber Station should reflect the heritage of Barber Valley and include local materials found in the vicinity. These include a combination of enduring materials such as limestone, sandstone, granite, basalt, stucco and brick as the dominant exterior wall material.

Accent materials include wood and fiber cement paneling, stucco, and formed metal can be integrated into the overall design to add visual interest, enhance scale, and support the overall design composition. Where material changes happen, they must occur at a clear break in the surface plane of the building. Materials shall be consistently applied to all elevations and shall generally wrap corners prior to a transition.

Undersides of decks, balconies, bay windows, soffits, and other elements, if visible from below, shall be finished consistently with adjacent level of finish. Similarly, topsides of such elements shall also be finished with consistent high level finishes.

Large areas of color shall reflect the neighboring natural content landscape materials. Deep colors may be used as accents. Colors should celebrate and differentiate commercial buildings from each other and be consistently applied.

6. Signage

Building signage is important for the identity of the Barber Valley project and should be integrated into the design and order of the building. To create an interesting pedestrian street scene, creative and lively signs are highly encouraged.

All signage must be submitted for review with the building design review submission.

f. Roofs

The integration of visible roofs as part of a building design and composition provides the opportunity to enhance the structures design through additional visual interest, modulation, and articulation. On high bay buildings, the use of sloping roofs around the perimeter, within or exceeding the depth of the structural and mechanical systems, are encouraged as a means of visually reducing the scale when appropriate.

Roofs may be either flat or sloped, and must be made of durable, quality materials consistent with first class commercial construction. Sloped roofs must use long lasting materials such as natural slates, ceramic tile, concrete tile, architectural grade composition shingles, or seamed metal roofing materials. Other products will be considered upon full review of the material and its proposed integration into the design.

Roof terraces and gardens are encouraged and may include pavilions, pergolas, trellises and other enlivening structures made of compatible materials.

Parapets and cornices are required for flat roofs. Parapets must be capped and may be stepped. Decorative elements of parapets may exceed height limits by 4 feet maximum.

Gutters are required where roofs are exposed to view. In such case, downspouts and rain water leaders will be required to contain the flow of runoff from the roofs down to a grade collection system. Water will not be allowed to flow across patios, sidewalks, ramps, parking areas or roads. Downspouts should be handled as a component of the design composition and be located in logical locations relative to the overall building design.



g. Parking

Refer to the site guidelines for parking development.

h. Miscellaneous (dumpsters, satellite dishes, mechanical equipment, etc.)

Dumpsters, trash disposal equipment, mechanical equipment, meters, satellite dishes and exterior work areas remain necessary components of most structures and should be considered with the same standard and care as the main structures. These support elements must be completely screened from view within enclosed yards responding to the design of the adjacent structure they are supporting.

Elements such as dumpsters must have hinged tops to prevent unsightliness, blowing of trash around the site, as well as wildlife access. Satellite dishes along with other communication paraphernalia must also be screened from public view. Such screening can be within on ground enclosures or roof area enclosures. Satellite dishes may be no larger than 36" in diameter to avoid the necessity of disproportionately tall enclosures.

Loading docks and areas supporting buildings shall be located such that the function is well screened from view of adjacent structures and pedestrians. Truck parking in support of commercial buildings, large doors and loading/unloading areas shall be located within walled courts, wings of the building, or a combination of both to substantially conceal the activity. Such structures including gates, grilles and fencing, must be designed to tie into the aesthetic of the building they are connected with.

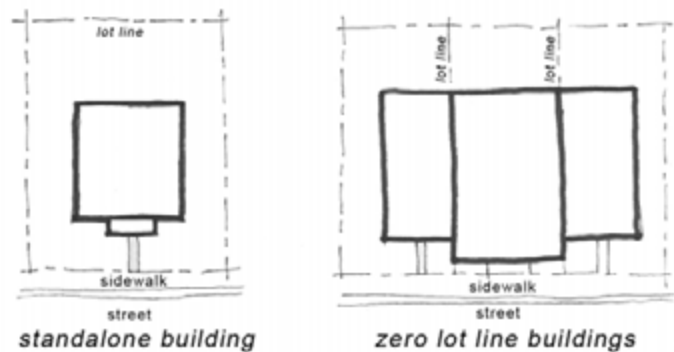
2. Mixed-Use Buildings Introduction

Mixed-Use commercial buildings in the Barber Valley project may include one, two, three, and four story structures that are a mix of commercial and residential oriented uses. Those uses include commercial office and commercial retail. The depth of commercial retail includes uses such as banking, shops, and restaurants. Within the guidelines we address the opportunities of form, building height, imagery, proportion, and elements of building structures. The elements include entrances and storefronts, windows and doors, roofs, materials and colors, exterior lighting, building signage, and site relationship.

a. Form

Architectural form in the mixed-use commercial building type is varied based on location within the Barber Valley Specific Plan area, the intended tenant uses, and the adjacencies on site. Buildings identified as mixed-use buildings are most likely located adjacent to the central access road through Barber Station and will commonly be multi-building structures with exposure on two or three elevations. These buildings are intended to be one to three stories, with articulation of facades that may include stepping in plan and elevation.

The goal of the mixed-use commercial buildings located within Barber Station is to create an urban feel by the establishment of a street façade with variation in architectural style and tenant use. These structures are mixed use including office, retail, and residential. Adjacent to these structures may be a purely commercial structure.



Buildings shall be of a scale and proportion that relates well to adjacent buildings without dominating, overwhelming or appearing insubstantial in relationship. Long walls shall be relieved with offsets, balconies, projections, recesses, or other architectural features.

To maintain pedestrian friendliness, building forms must be articulated with a base, middle, and top.

1. Top elements define roof or parapet with a distinct three dimensional outline or profile, achieved with projections such as cornices, canopies, parapets, or pitched roof eaves with changes in materials and colors.
2. Middle elements must be distinct in material and color from the top and base. Window articulation may vary from the base and top in support of the composition.
3. Base elements must be 5' tall at a minimum, (preferably closer to a full story in height), and must be made with an enduring material such as stone or brick, or combination thereof.
4. Corner elements may be celebrated in forms such as towers, projecting bays, and balconies. Balconies, step backs, and other forms are encouraged for visual variety.



b. Height

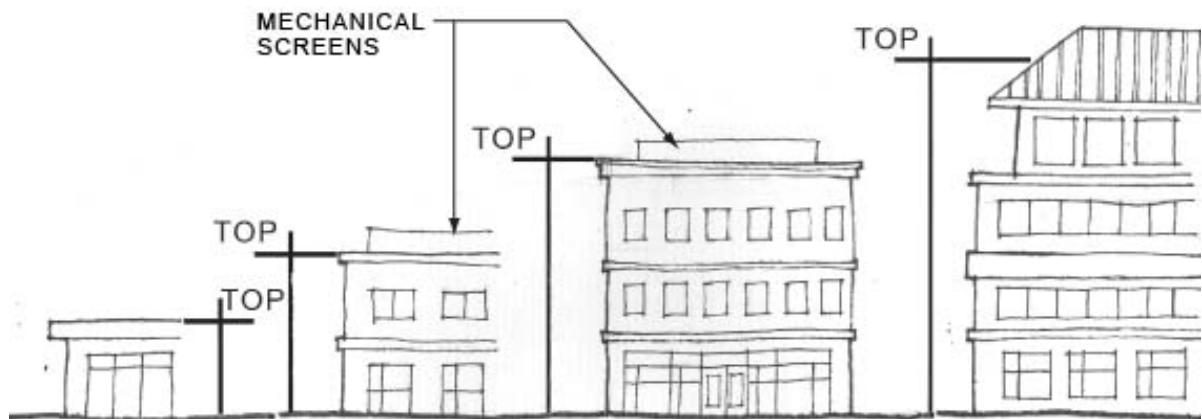
Building heights within the Barber Valley project will be limited by the Barber Valley Specific Plan Zoning Ordinance. All of the mixed-use commercial structures will be held to the height limits specific to the zoning area.

Measurement of building height is per the Boise City Zoning Ordinance:

HEIGHT, BUILDING:

The vertical distance from the grade to the highest point of the coping of a flat roof or to the deck line of a mansard roof or the average height of the highest gable of a pitch or hip roof.

The ordinance recognizes the challenge with mechanical screening and has exempted it from the height measurement when determining the building height.



Measurement diagrams for one to four story buildings

c. Imagery

The imagery for mixed-use commercial structures in the Barber Valley project is not defined as a prescriptive requirement. Building size, height and form are expected to inform the imagery of the structure as a three dimensional form in the environment. Additional imagery components include building materials, building elements, and the ultimate composition of them all. The Barber Valley Design Guidelines are written such that the building designer is motivated to use all the tools available to create a structure of interesting design; with high quality materials; in a fashion that speaks to permanence, longevity, lasting quality; and is contextually responsive to the surrounding development and structures.



one story



two story

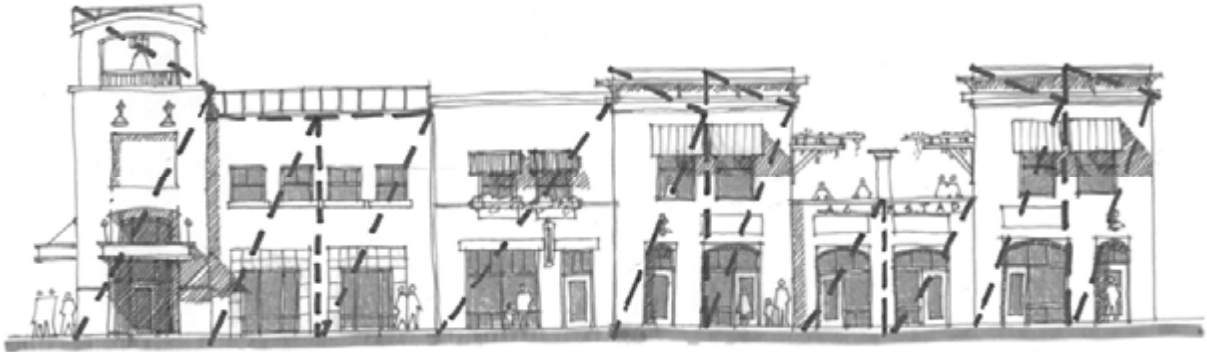


three story

d. Proportion

Buildings shall be of a scale and proportion that relate well to adjacent buildings without dominating, overwhelming or appearing insubstantial in relationship. Long walls shall be relieved with offsets, balconies, projections, recesses, or other architectural features. The façade of buildings shall be articulated into architecturally-distinct sections with each section taller than it is wide. Articulation must be by change in plane, material or color.

To create a human scale, facades are encouraged to incorporate visually continuous details, these may be interrupted by windows and doors

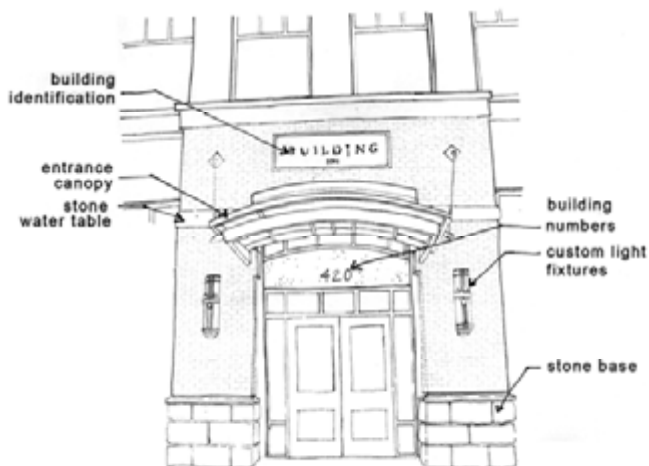


e. Architectural elements, components, and details

1. Entrances and Storefronts

In mixed-use building design, entrances and storefront are critical to the success of creating a space that meets the necessities of the tenant relative to identification, ease of discovery, and in the case of retail, visual access to the space. Entries must be oriented to the street, and easily identifiable. A protective covering is encouraged such as a canopy, trellis, or portico. Other additional enhancement should be provided near the entrance such as lighting, seating, ornamental potted plantings, and possibly a special paving pattern announcing the entry.

Storefronts should further enhance the retail function of the space behind and may include the following elements:



- Large, raised storefront windows with projecting sills.
- Mullions that provide for ease of visual access to displays.
- Storefront compositions that provide flexibility for varying types of retail tenants beyond.
- Storefront configurations that enhance the architectural design of the building while addressing proportion, pedestrian scale, and comfort when standing adjacent to it.
- Horizontal human scale element (see Proportion guidelines).

Other pedestrian friendly elements are encouraged:

- Planter boxes and hanging baskets.
- Awning or canopy at entrance and along the storefront openings.
- Structural and architectural articulation between storefronts.
- Public art such as sculpture or murals.
- Seating such as chairs or benches.



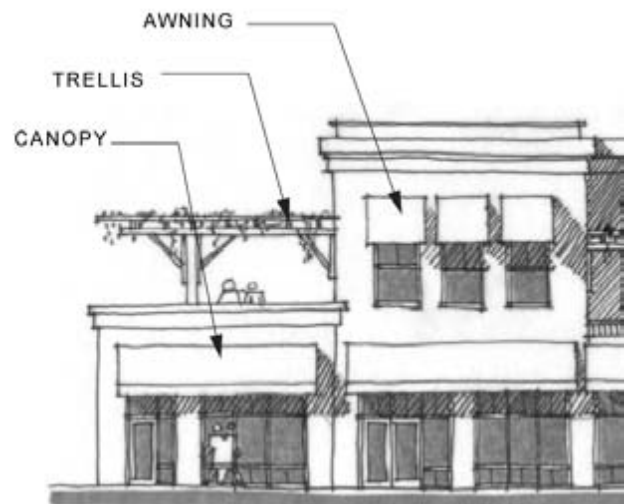
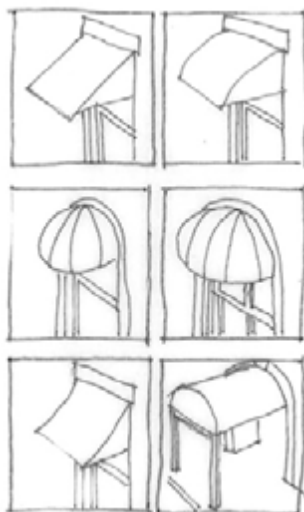
Entries to office or reception areas for individual uses shall be on the front or approach side of the building and shall be easily visible and distinguishable from adjacent retail entrances through the use of architectural elements and shall not rely on disproportionately scaled signage.

2. Canopies, Trellises, and Awnings

Canopies, trellises, and awnings serve a number of purposes both functionally and aesthetically. They provide coverage from inclement weather, shade from sun, and if done well, can enhance the compositional aesthetic of a building.

They can be constructed of permanent materials or temporary fabrics. In addition to protection they can be transparent or translucent, enhancing the experience of the pedestrian as they engage the canopies.

Trellises are also an element that provide protection from the sun, create a framework from which to grow plants and vines, and is another tool to enhance a building's aesthetic. Trellises can also be used as a landscape element fully independent of any building. Material can be metal to wood to vinyl. Finishes can vary depending upon the aesthetic desired. Trellises can be placed at the ground level or on upper floors, decks, and walls.



3. Windows and doors

Windows and doors – similar to storefronts and entrances, provide a strong design element that applied properly reinforces the building composition and aesthetic. Both doors and windows can establish a patterned rhythm within a building. Placement within a wall can create the impression of depth and solidity. Placed at the face of a building's surface material, the imagery is much different. Placement is very important in the composition.

Doors identify commerce and entry, and should be highly visible and easily legible by the public. The sense of entrance should be reinforced by the composition of an entry system, placement of the doors, specific style and material.

Windows come in all sizes and shapes, materials, and colors, as well as operability, transparency, and ability to join in configurations limited by design. Shapes include ribbon windows in aluminum frames, simple divided windows in single openings, to ganged groupings of two or more windows "mulled" together to create a larger assembly. Selection of window type and style, as well as material must enhance the overall composition of the building.

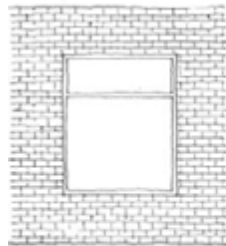
Openings shall be appropriate to the general aesthetic of the building, and may include individual 'punched' windows, or groups of openings, ribbon windows or storefronts.

Entry doors may be recessed to create a modulated 'street wall' and create an interesting contrast of shade and shadow.

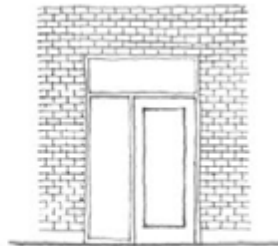
Doors shall be celebrated with contrasting colors, materials, and surrounds to call attention to building entrances.

Windows shall be of differing sizes reflecting the various public or private rooms within.

Recessing and trimming of doors and windows is highly encouraged to create shade and shadow across the face of the building.



window in brick wall



door in brick wall



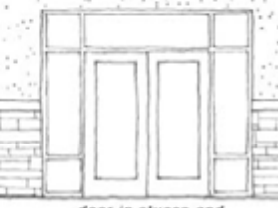
window in brick and stucco wall



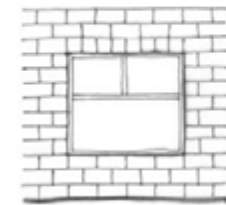
door in brick and stucco wall



window in stucco and stone wall



door in stucco and stone wall



window in CMU block wall



door in CMU block wall

Doors and windows should be consistent throughout the building.

To create activity on the sidewalk special attention should be given to windows and doors as they offer activity and visual excitement to the commercial areas of Barber Valley and are highly encouraged to have active doors every 30' along storefront buildings

Window shading devices are highly encouraged for summer sun protection.

Vertically rectangular windows should dominate. Shallow arched windows are allowed in masonry openings.

Ground level windows shall extend above an 18 to 24 inch base.

Glazing may extend from the head to the ground or paving surface.

4. Exterior Lighting

Exterior lighting is intended to serve three purposes-enhance safety, conserve the 'dark sky,' and create a cohesive pedestrian identity. Within the mixed-use commercial area of Barber Station lighting is also important to promote the businesses. Tenant spaces should be marked with interesting lighting complimentary of the building composition. Where buildings are combined, lighting should be evaluated and the appropriate fixtures and type should respond to the architecture. It is not necessary that one single fixture be used on all buildings.

Lighting should be treated as a design element within the overall building composition. Items to consider when selecting exterior building lighting include:

- Light sources shall not be visible off-site nor distracting at the source.
- Low intensity light sources shall be used with frosted or translucent lenses and 'cut-off' fixtures.
- Up lighting of canopies, trees, and building elements to be done in a fashion not distracting of other aspects of the design.
- Average lighting levels shall not exceed 15 foot candles measured at the frontage of buildings.
- Holiday lights are allowed for seasonal celebrations.

5. Materials and Colors

Materials for buildings at Barber Valley should reflect the heritage of Barber Valley and include local materials found in the vicinity. These include a combination enduring materials such as limestone, sandstone, granite, basalt, stucco, and brick as the dominant exterior wall material.

Accent materials include wood and fiber cement paneling, stucco, and formed metal can be integrated into the overall design to add visual interest, enhance scale, and support the overall design composition. Where material changes happen, they must occur at a clear break in the surface plane of the building. Materials shall be consistently applied to all elevations and shall generally wrap corners prior to a transition.

Undersides of decks, balconies, bay windows, etc. if visible from below, shall be finished consistently with adjacent level of finish. Similarly, topsides of such elements shall also be finished with consistent high level finishes.

Large areas of color shall reflect the neighboring natural landscape and natural materials. Deep colors may be used as accents. Colors should celebrate and differentiate homes and commercial buildings from each other and be consistently applied.

6. Signage

Building signage is important for the identity of tenants within Barber Station and should be integrated into the design of the building. To create an interesting pedestrian street scene, creative and lively signs are highly encouraged. Refer to the Barber Valley Sign Program for criteria and standards.

All signage must be submitted for review with the building design review submission.

f. Roofs

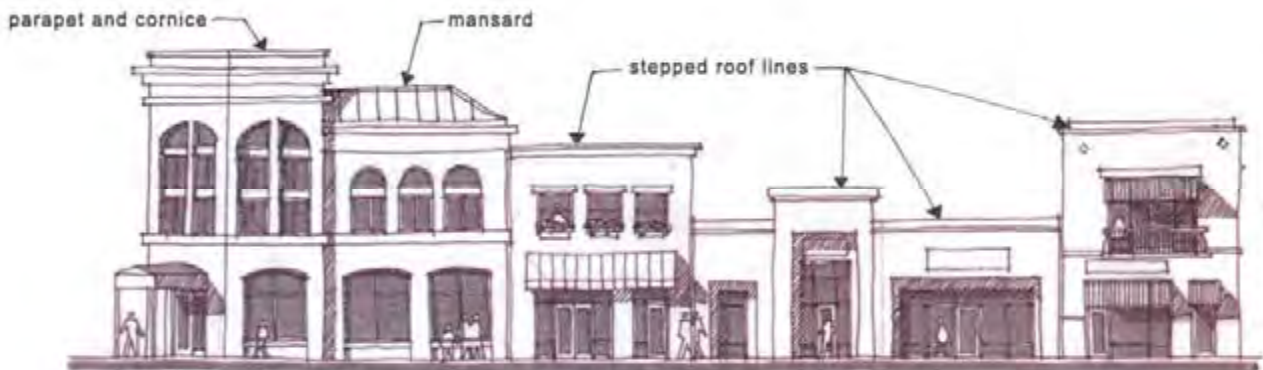
The integration of visible roofs as part of a building design and composition provides the opportunity to enhance the structures design through additional visual interest, modulation, and articulation. On high bay buildings, the use of sloping roofs around the perimeter, within or exceeding the depth of the structural and mechanical systems, are encouraged as a means of visually reducing the scale when appropriate.

Roofs may be either flat or sloped, and must be made of durable, quality materials consistent with first class commercial construction. Sloped roofs must use long lasting materials such as natural slates, ceramic tile, concrete tile, architectural grade composition shingles, or seamed metal roofing materials. Other products will be considered upon full review of the material and its proposed integration into the design.

Roof terraces and gardens are encouraged and may include pavilions, pergolas, trellises and other enlivening structures made of compatible materials.

Parapets and cornices are required for flat roofs. Parapets must be capped and may be stepped. Decorative elements of parapets may exceed height limits by four (4) feet maximum.

Gutters are required where roofs are exposed to view. In such case, downspouts and rain water leaders will be required to contain the flow of runoff from the roofs down to a grade collection system. Water will not be allowed to flow across patios, sidewalks, ramps, parking areas or roads. Downspouts should be handled as a component of the design composition and be located in logical locations relative to the overall building design.



g. Parking

Refer to the site guidelines for parking development.

h. Miscellaneous (dumpsters, satellite dishes, mechanical equipment, etc.)

Dumpsters, trash disposal equipment, mechanical equipment, meters, satellite dishes and exterior work areas remain necessary components of most structures and should be considered with the same standard and care as the main structures. These support elements must be completely screened from view within enclosed yards responding to the design of the adjacent structure they are supporting.

Elements such as dumpsters must have hinged tops to prevent unsightliness, blowing of trash around the site, as well as wildlife access. Satellite dishes along with other communication paraphernalia must also be screened from public view. Such screening can be within on ground enclosures or roof area enclosures. Satellite dishes may be no larger than 36" in diameter to avoid the necessity of disproportionately tall enclosures.

Loading docks and areas supporting buildings shall be located such that the function is well screened from view of adjacent structures and pedestrians. Truck parking in support of commercial buildings, large doors and loading/unloading areas shall be located within walled courts, wings of the building, or a combination of both to substantially conceal the activity. Such structures, including gates, grilles and fencing, must be designed to tie into the aesthetic of the building they are connected with.

3. Residential Buildings Introduction

The three planning areas within the Barber Valley Specific Plan offer numerous residential building opportunities ranging from single family structures and townhouse residences to high density condominium living. The residential designated zones are identified in specific areas of Barber Station, Mill District, and The Terrace. The mix of residential product is anticipated to be varied in size, configuration, type, form, and aesthetic. As mentioned, the design guidelines anticipate structures ranging from traditional detached single family dwellings to multi storied condominium structures, with variations between including attached single family townhouses, twins, and quads. The important aspect of design and aesthetic within each residential planning area is a consistent push toward compatible imagery and quality, as well as a respect of existing context when it exists.

The residential designations within the Barber Valley Specific Plan are defined relative to the ordinance criteria of density, type (single family / multi family), and massing including structure height and structure setbacks from property lines..



single family



multi-family, medium density



multi-family, high density

a. Form

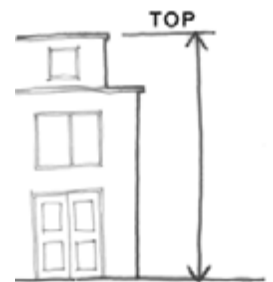
The variations of form within the different residential areas can be expressed as single residence structures, combined residential structures with similar elements to single structures, and larger structures expressing individual units within a greater composition. Generally, *form* for residential buildings is intended to be more intimate in character from that of commercial structures. In support of this approach, higher density dwelling structures may appear as large homes with a single entrance. In which case, individual units should be expressed with window groupings, porches, balconies, bay windows and other three dimensional articulation to break up mass. Town homes should be articulated to be different from each other by using bays, varying roof lines, and porches. The same can be said for detached single family residences when creating a residential community. Structures can be individual in character and imagery, while being a strong element in the fabric of the community.

b. Height



Designated within the Barber Valley Specific Plan Zoning Ordinance, height is stated in terms of the maximum limits. Up to that point residential structures can set the building height at a constant, or vary through interesting forms and volumes.

As the residential unit density decreases, the height of residential structures is reduced to be compatible with adjacent properties. Higher density structures will be placed in areas where additional height should incorporate varying roof lines and heights to maintain the sense of residential design.



Measurement of building height is per the Boise City Zoning Ordinance:

HEIGHT, BUILDING:

The vertical distance from the grade to the highest point of the coping of a flat roof or to the deck line of a mansard roof or the average height of the highest gable of a pitch or hip roof.

The ordinance recognizes the challenge with mechanical screening in higher density residential units and has exempted it from the height measurement when determining the building height. Mechanical equipment screening and mechanical penthouses may exceed parapet heights by no more than five (5) feet in unoccupied spaces.

c. Types and Styles

- **Single family detached and attached**

Generally, all houses should reflect the building traditions of the region, which are based on Idaho's climate, indigenous materials, and craftsmanship, as well as historic periods of settlement and development.

Some examples of common design elements are buildings with deep overhangs, wall offsets, recessed windows and doors, dormers, and the use of straightforward natural materials.

Particular architectural vernaculars lending themselves to residential design include adaptations of the following styles:

- Craftsman
- Prairie Style
- Shingle
- Modern
- Victorian

While the design guidelines anticipate the adaptation of specific architectural vernaculars, it is the intent that single family structures be designed to blend into the specific planning areas with interest in design and materials.



single family attached



single family detached

- **Multifamily Residential – medium density**

Medium density multifamily residential design provides opportunities to create the density within structures that look like larger residences. The image below combines multiple units in a composition that is very residential in scale, provides the identity of individual entries, while affording the aesthetic of residential looking structures. Through the variation of roof forms, building height, window fenestration, and residential scale detailing, the building establishes a residential quality.



multi-family, medium density

- **Multi-family Residential – high density**

High density residential structures embody many of the characteristics of a commercial building in response to the needs of the program. This building type can integrate into the Barber Valley Specific Plan by establishing a residential feel in a structure that is considerably larger than single family homes or low to medium density residential design.

The integration of materials, the overall building design, and the detailing of elements within the composition can reinforce the residential nature of the building while supporting an aesthetic appropriate to the size and scale of the structure. As structures become larger in mass it is important that the pedestrian experience along the base of the building be a residential scale.



d. Building Mass and Form

In general, building mass shall be residential in scale and should respond to the surrounding block, lot type and size in which the residence is located within the Barber Valley Specific Plan areas. Building design shall incorporate varied projections and recesses, including bay windows, dormers, porches, etc. Elements such as these will create visual interest and should respond to existing site conditions on each particular home site as well as the surrounding built and natural environment.

All residential buildings are to be designed and built with a similar material palette on all elevations, giving equal attention to the sides and rear elevations as is given to the street side elevation.

All residential buildings should be particularly sensitive to their street frontage. Design elements that create a play of light and shadow and reduce the perceived bulk such as deep porches, decks, overhangs, multi-paned windows and deep offsets should be used.

The use of detached garages and breezeways connecting to the main house are encouraged where block design permits.

Houses located on sloped sites shall respond to the topography and shall integrate the building into the existing landform through the integration of elements including daylit basements, stepped plans and responsive landscape.

Asymmetrical compositions of residential building forms are preferred.



e. Windows, Doors, and Entries

The use of recessed doors (entrances as well as garage doors) and window openings is encouraged. This use will create shadow lines to give the house a more substantial appearance.

Entry elements shall be in scale with the relative proportions of the house and streetscape. Dominating and over stylized entries will not be accepted.

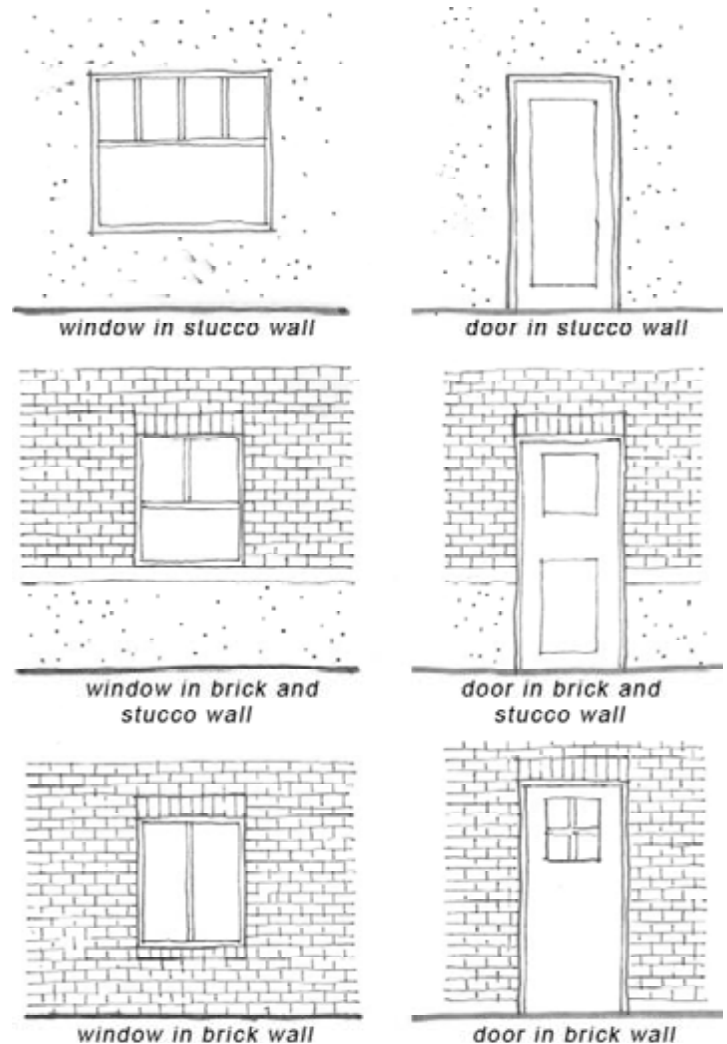
All openings shall appear as individual 'punched' windows, or groups of openings. Horizontal as well as vertical mullions are encouraged to reinforce residential scale; true divide lights are desired.

The shape and detail of all openings are to be appropriate to the style of architecture. Window styles are to be consistent throughout the entire building.

Glass and glazing may be coated or tinted to control solar heat gain. Mirrored glass is not permitted in any instance.

Double or triple pane windows are required.

Exterior finishes of all windows shall be wood, colorfast vinyl or bronze anodized (or other appropriate color) finish. Unfinished aluminum is not allowed.



f. Materials and Colors

Exterior use of materials and colors provide the opportunity to create individual identity for each residence while also being responsive to the context of the community and adjacent structures. Following are a number of items that the designer may incorporate to enhance the residential unit designs be it single family or multi-family structures:

- Exterior walls and finishes should reflect a logical and appropriate combination of colors, textures and forms to compliment the context of the surrounding built and natural environment.
- Exterior walls of all residential buildings may use a maximum of three materials with one being dominant over the others in a logical, structural relationship.
- When a change in the materials occurs, a clear break in the surface plane should be seen. Materials should be consistently applied to all elevations of the structure.
- All building facades must include a significant degree of texture such as that provided by the use of wood (or cement panel) shingles, shiplap, board and batten applied sidings, stone, and brick. No vinyl siding is allowed.

- Stucco may be used in small amounts and must be used in conjunction with at least one other material. Frequent control joints, significant textural qualities and color variations are required.
- A palette of acceptable colors is available from the Barber Valley Design Review Board. Color application should be used consistently throughout each home site for all the buildings and secondary structures.
- Colors for large field application shall be recessive in value, while accent colors should be used in limited areas.

g. Roofs

From many viewpoints in and around the Barber Valley community, roofs are a dominant element of the landscape and must create a harmonious relationship with the surrounding block, street, site and adjacent structures. All roofs shall be carefully designed in form, materials, and color so that they integrate the structure with its landscape, setting, and neighboring buildings. All roof materials shall be class 'A' fire rated and non-reflective.



Materials for roofs include, without limitation:

- unglazed tile
- slate
- concrete tile
- architectural shingles
- non reflective metals.

Flat roofs for mechanical equipment shall be concealed by sloping roofs or portions of the building. Dormers for windows, louvers and vents are encouraged on large expanses of roof, and parapets, cornices, and other detailing is desirable. Rooftop equipment and large vents are to be grouped and fully concealed in chimney-like structures as integral parts of the roof and/or wall design and shall match the roof in color. Ridge vents are encouraged.

All skylights, solar equipment, antennas, dishes and other roof appurtenances will be reviewed on an individual basis by the Barber Valley Design Review Board.

Roof dormers and other three-dimensional elements should be used to add large-scale texture to roof forms, avoiding the appearance of wide, unbroken roof planes. The use of large roof overhangs is strongly encouraged.

h. Chimneys and Roof Projections

All roof projections, including chimneys, flues and vents shall be compatible in scale, height, and material with the structure from which they project. Where possible, large vents are to be grouped and concealed in chimney-like structures as integral parts of the roof or wall design. All rooftop hardware shall be painted to match the roof color.

Chimney hardware must be fully screened within an architectural feature.

Chimneys on exterior walls must be integrated into the building design in order to anchor the building to the site.

i. Porches and Decks

The use of porches, patios, terraces and decks in building design is encouraged to create a strong relationship between indoor and outdoor areas, encouraging the creation of a sense of community.

Porches, verandas, colonnades, terraces, and patios for climate control, circulation, and outdoor living shall be designed as integral elements of the building and site.

Houses on corner lots shall incorporate front and side elements in the building design.

Minimum depth of porches shall be six feet.

Materials of these elements shall match or compliment those of the main structure.



j. Railings

The use of railings on porches, balconies and upper level windows or door openings should be carefully considered as a component of an architectural style. When properly applied, well-designed and properly detailed railings are an opportunity to reinforce specific characteristics of the selected architectural style. The materials used for railings should be part of an appropriate palette of materials for the architectural style of the building.

k. Garages, Carports, Accessory Apartments, Ancillary Buildings or Home Offices

Detached garages, storage sheds and outbuildings are required to be of similar material, siding, roofing and color as the primary dwelling. Outbuildings and sheds shall not be more than 150 sq. ft. in size and no higher than 8 ft. in height, unless otherwise approved by the Barber Valley Design Review Board. Accessory dwelling units are permitted up to 750 sq. ft. in size and the design of such structures is subject to the approval of the Barber Valley Design Review Board.

Enclosed garages attached to or separated from the building shall be of the same architectural character and materials, and painted with compatible colors. Consideration should be given to the location of garages and carports to diminish the visual appearance of the doors. Garage doors shall be consistent in appearance with main residence. Carports shall be scaled to not appear as being insubstantial or temporary

In the Mill District: the existing 12' alley shall be expanded with a four-foot raised alley section on the north side of the alley. The six (6) foot building setback shall be measured from the north edge of the raised alley section to create 22-feet of backup space and also create the perception of a narrow alley to slow down drivers. In addition a raised (6-inch high) dividing element must be installed between each bay within and between the attached garages, extending from the garage to within four feet of the existing alley. *In the event that this condition is not allowed by ACHD* garages adjoining the existing alley must be setback a minimum of 10 feet from the alley to create the 22-feet of backup space, and the landscaped area of the yard on each side of the attached driveways must extend up to the edge of the 12-foot alley to enforce the perception of a narrow alley to slow down drivers.

VII. Project and Building Signage

Project and building signage is defined to respond to the various identification needs through out Barber Valley, and to insure that there is continuity of overall signage while allowing for specific individualization. All signage will be reviewed and approved by the Development Ownership Team and an Architectural Control Committee established by the development parameters. All development signage will be maintained by the various owner associations within the development areas. All individual tenant signage maintenance will be the responsibility of the tenant and or the specific building owner.

In addition, the following components are included as part of the Barber Valley Specific Plan design guidelines:

- a. Each tenant shall be required to submit signage plans to the building's managing entity for written approval. A design review sign application, accompanied by the written approval of the managing entity, shall be submitted to the City for any proposed signs for City staff review and approval. All signs shall be in compliance with the criteria stated herein as well as Boise City Code. In cases of any conflict between Boise City Code and the criteria specified herein, the more restrictive requirements shall apply.
- b. Building wall signs shall be placed within the approved sign areas as designated on individual project elevations. Signage may not exceed the standards in the Boise City Zoning Ordinance signage standards.
- c. All building wall signs shall be constructed of a hi-density urethane material or aluminum ½" thick (minimum). The face of the wall signs shall have dimension by routing or extrusion, with a minimum of ¼" variation. Individual letter signs shall meet the following:
 1. Letters shall be non-illuminated.
 2. Letters shall not be interconnected and a maximum of 12" in height.
 3. Letters taller than 6" shall be a minimum of 1 ½" in thickness.
 4. Letters shall be stud mounted 1" off the face of the building.
 5. Letters shall be flat or matte black or other approved earth tone colors. No glossy.
 6. Paints, vinyl or Plexiglas is permitted.
- d. All elements shall be painted with an historic color palette. If, in the opinion of City staff, a proposed color varies significantly from the colors depicted on the colored rendering submitted to the City for the monument signs or for the building, staff may choose to have the Design Review Committee review the color for appropriateness.
- e. There will be development specific monument signs identifying each development area in the Barber Valley Specific Plan. Those locations will be identified on the final plat maps of each section.
- f. Buildings will be allowed a monument sign on each street frontage. The sign must conform to the Boise City Zoning Ordinance signage standards in effect at the time a sign permit is submitted for.
 1. Individual tenant identification is allowed on monument signs.
- g. Exterior illumination for the monument signs shall be recessed in the ground and shall be shielded with landscape materials.
- h. If exterior illumination is proposed for building wall signs, gooseneck light fixtures shall be used and shall be located as not to shine onto the roadway or onto any nearby property.

- i. Any free-hanging signboards proposed under the covered porch shall be a maximum of 8 square feet each. A maximum of one free-hanging signboard per tenant shall be permitted. If any such sign overhangs a walkway a minimum of 7-feet 6-inches shall be maintained between the bottom of the sign and the walkway.
- j. One neon sign per business shall be permitted and may not exceed in any dimension the designated signage area per Elevations.
- k. Any other signage such as temporary, grand opening, etc. shall comply with Boise City Code.
- l. Any signage on doors or windows shall comply with Boise City Code.

BARBER VALLEY

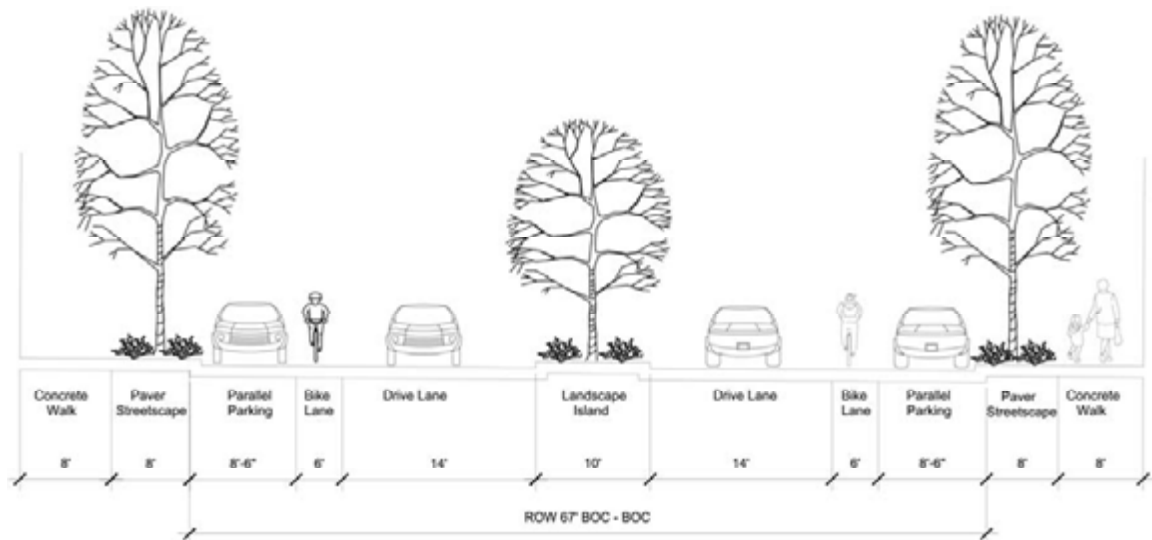
Road Standards

Road Width Requirements

The following standards shall apply to collector and local street in the residential areas or in accordance to ACHD Standards, which ever is greater.

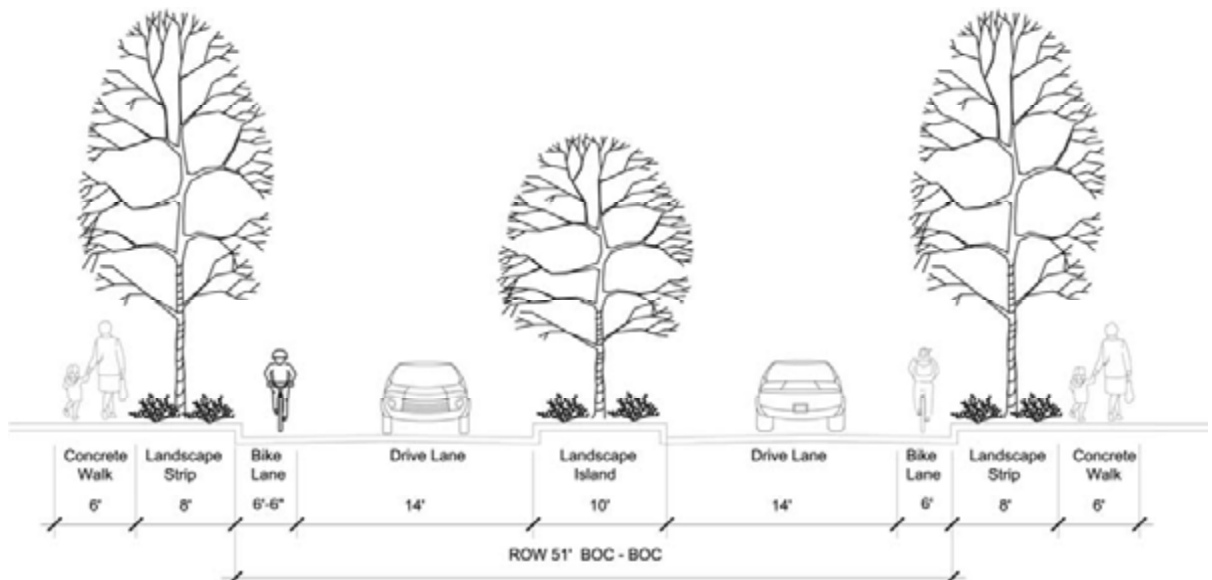
2-Lane Collector

- Central roadway through Barber Station has two 14' travel lanes, separated by 10' wide center landscape island, two 6' bike lanes, two 8'-6" wide on street parking strips, paver streetscape on each side with detached pedestrian walkway a minimum of 6' in width. The minimum ROW width is 67'. Additional width may be required at busy intersections to accommodate left and / or right turn



Barber Station

Section A: see Section 3, Conceptual Street and Lot Pattern, 11-22-06C – Map 1



Barber Station

Section B: see Section 3, Conceptual Street and Lot Pattern, 11-22-06C – Map 1

BARBER VALLEY Road Standards



Barber Station

Enlargement A: see Section 3, Conceptual Street and Lot Pattern, 11-22-06C – Map 1



East Park Center Boulevard – Barber Station Drive Intersection

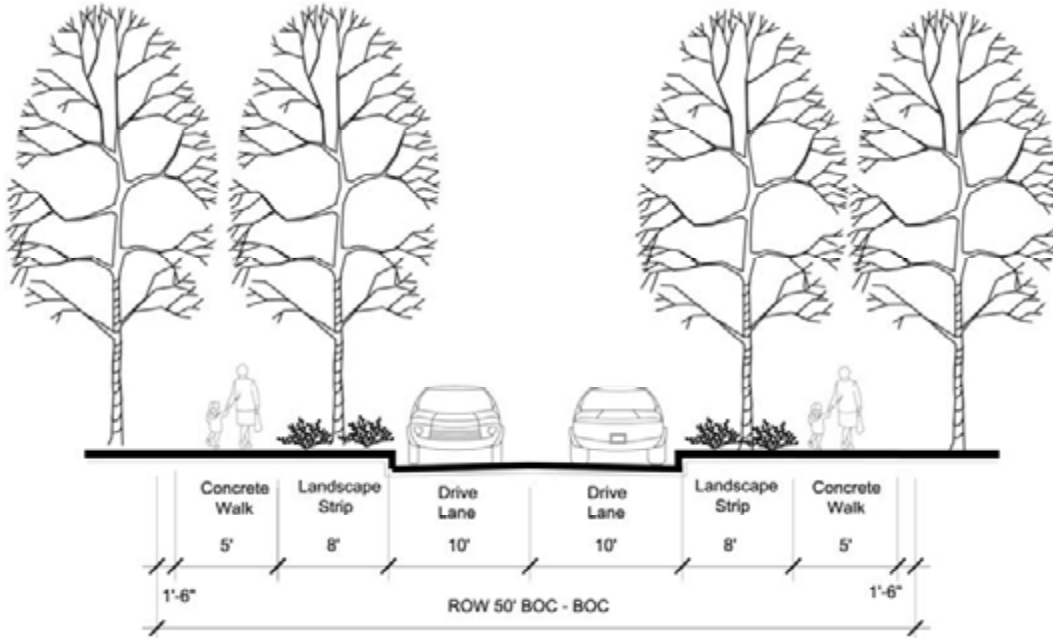
Enlargement B: see Section 3, Conceptual Street and Lot Pattern, 11-22-06C – Map 1

BARBER VALLEY

Road Standards

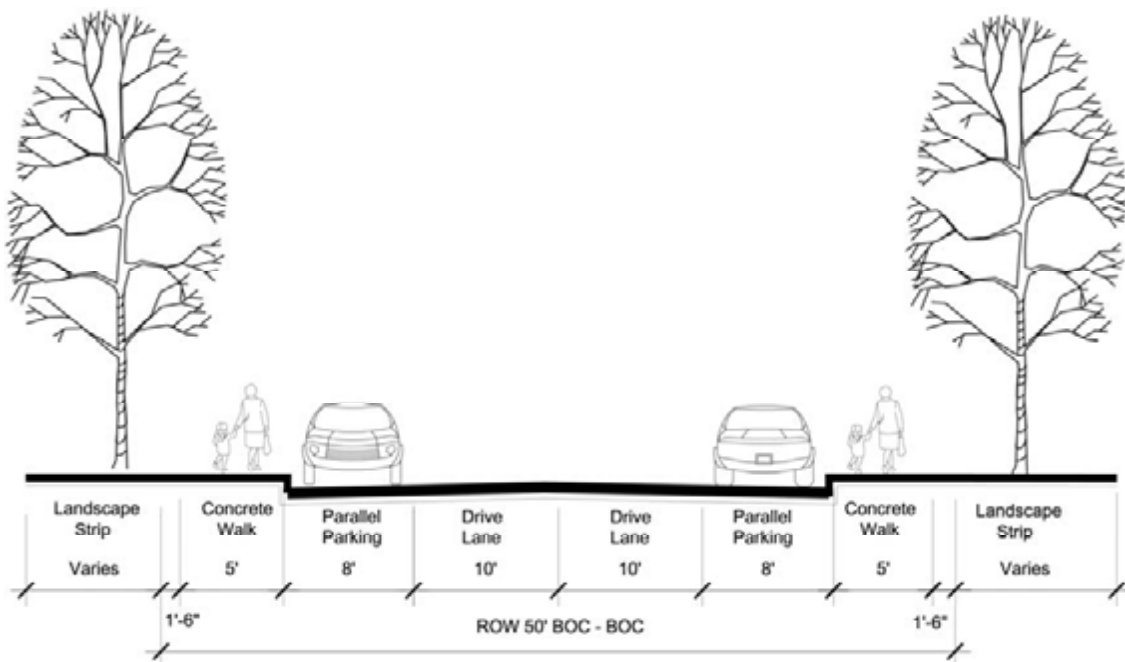
Circulation Drive

- Circulation drive from East Warm Springs Ave. to South Parkway (Harris Ranch Ph. 1) has two 10' wide travel lanes, 8' wide landscape strip and 5' wide detached sidewalk, see section C below, and 10' wide travel lanes, two 8' wide on street parking strips with attached 5' wide sidewalk, see section D below.



Circulation Drive

Section C: see Section 3, Conceptual Street and Lot Pattern, 11-22-06C – Map 1



Circulation Drive

Section D: see Section 3, Conceptual Street and Lot Pattern, 11-22-06C – Map 1

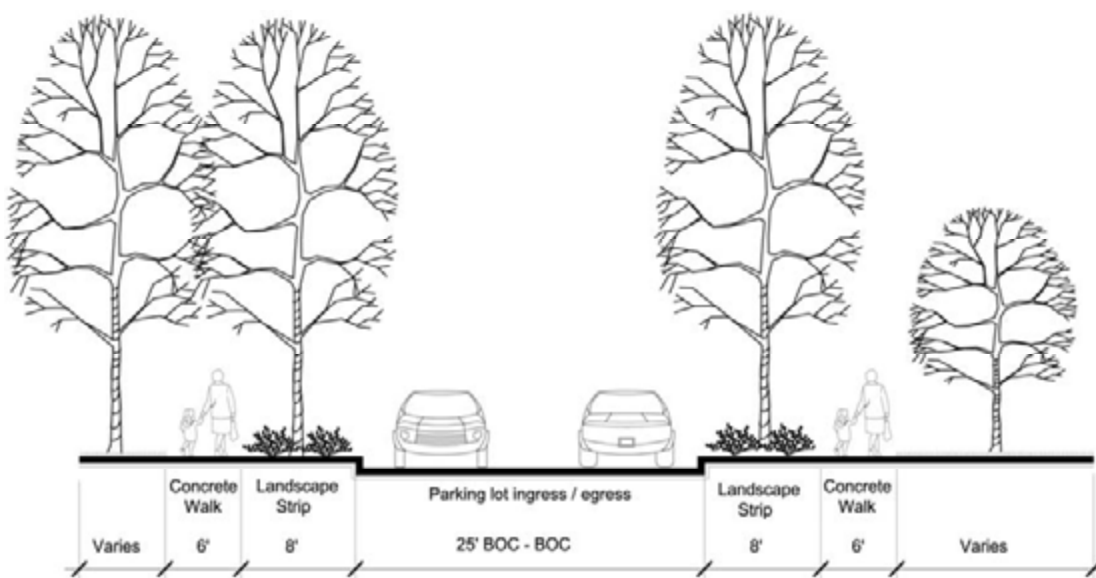
BARBER VALLEY

Road Standards

Entry to Individual Development Sites

The following standards shall apply to collector and local street in the residential areas or in accordance to ACHD Standards, which ever is greater.

- Typical street section has a back of curb to back of curb width of 25'.
- All crosswalks shall be handicapped accessible with a drop curb as per ADA Guidelines, to facilitate wheelchairs and strollers.
- Crosswalk access points / drop curbs shall be located at the intersections with transition to the separated pedestrian walkway.
- Each side of the street section shall have minimum 8' wide landscape strip with 6' wide detached pedestrian walkway.



Barber Station

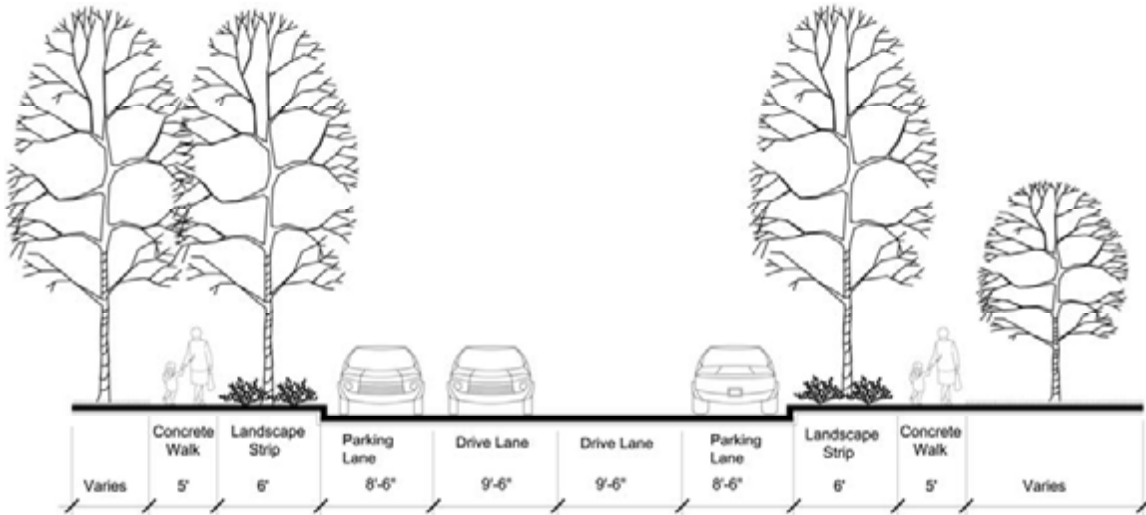
Section E: see Section 3, Conceptual Street and Lot Pattern, 11-22-06 – Map 1

Local Streets

- On-street parking will be allowed with appropriate signage and / or striping.
- Typical street section has face of curb to face of curb width of 35 feet allowing for two 9'-6" travel lanes and two 8'-6" parking lanes.
- Each side of the street section shall have minimum 6' wide landscape strip with minimum 5' wide detached pedestrian walkway.
- At least one sidewalk shall be located in proximity to the street section curb to facilitate convenient access from automobiles to the pedestrian walkway. The opposite sidewalk along the street section may meander to fit the landscape conditions.

BARBER VALLEY

Road Standards



The Terrace

Section F: see Section 3, Conceptual Street and Lot Pattern, 11-22-06C – Map 2

Crosswalks: Collectors and Local Streets

The following standards apply to all streets in the retail and office area or in accordance to the Ada County Highway District (ACHD) which ever is greater.

- Crosswalks shall be a minimum 10 feet wide with a pair of 12" painted lines.
- Crosswalks shall be handicapped accessible with a drop curb as per ADA Guidelines, to facilitate wheelchairs and strollers.
- Crosswalk access points / drop curbs shall be located at the intersections with transition to the separated pedestrian walkway.
- Crosswalks shall be constructed of concrete, except local streets. Where concrete crosswalks abut asphalt street or driveways a proper transition is required to avoid excessive wear and damage.
- Pedestrian walkway shall be separated from the street by 8 foot wide planting strip and shall be a minimum of 5 foot in width.
- Bike lanes shall be incorporated into the street section for each direction of travel and be a minimum of 6' in width.

Signage: Monument and Building

Within the framework set forth in the SP02 Design Guidelines related to materials, colors, etc., too encourage individual expression at entryways by allowing freestanding structures which incorporate signage, lighting and landscaping to enhance the visual identity from the street. The purpose of this guideline is to create a sense of arrival and should be orientate to both pedestrian and vehicular traffic.

- The design of the entryways should always relate to the design of other buildings in the development parcel in terms of materials, scale and color.
- Signs identifying the names of tenants or buildings may be incorporated in the entry.

BARBER VALLEY Road Standards

- Entryway designs should integrate signage that respects the architectural design integrity of the entryway.
- Signs are permitted on any entryway face.
- Entryways may be placed on the property line without a setback requirement, provided they meet ACHD's vision triangle requirements and current Boise City standards.
- Street trees should not be located in front of entryways.

Landscape Standards: Collectors and Local Streets

The following standards shall apply to landscape islands and landscape strips within the 3-Lane Arterial street section.

- Class II and Class III trees, as defined by Boise City Urban Forestry – Tree Selection Guidelines, shall be spaced at 35' intervals. Tree plantings at street intersections and driveway points shall meet ACHD vision triangle requirements.
- Class I trees, as defined by Boise City Urban Forestry – Tree Selection Guidelines, may not be planted in landscape strips or islands less than 8' in width.
- Conifer trees may not be planted in landscape island and / or landscape strips.
- All Class II and Class III street trees shall have a minimum caliber of 3 inches and pruned to provide minimum clearance of 8' at the time of installation.
- All pruning of trees must be done on site as per American Nursery Standards and by qualified personnel.
- The property owner fronting the street shall provide an average of 8' of landscaping between the edge of the pedestrian walkway and the edge of site development except at entryways where design flexibility is necessary.

Chapter 11-22-02

BARBER VALLEY SPECIFIC PLAN ZONING ORDINANCE

Sections:

11-22-02-01	APPLICABILITY OF ORDINANCE
11-22-02-02	INTERPRETATION OF DISTRICTS
11-22-02-02.01	Districts Established
11-22-02-02.02	District Boundaries
11-22-02-03	CONFORMITY REQUIRED
11-22-02-03.01	General
11-22-02-03.02	Purpose of SP02-LR Sub-District
11-22-02-03.03	Purpose of SP02-MR Sub-District
11-22-02-03.04	Purpose of SP02-HR Sub-District
11-22-02-03.05	Purpose of SP02-OMR Sub-District
11-22-02-03.06	Purpose of SP02-OC Sub-District
11-22-02-03.07	Purpose of SP02-P Sub-District
11-22-02-03.08	Design Review
11-22-02-03.09	Allowed Uses
11-22-02-03.10	Lot/Structure Dimensions
11-22-02-03.11	Property Development Standards
11-22-02-04	OFF-STREET PARKING AND LOADING REQUIREMENTS
11-22-02-05	ADMINISTRATIVE PROVISIONS
11-22-02-06	DEFINITIONS

11-22-02-01 APPLICABILITY OF ORDINANCE

This Barber Valley Specific Plan Zoning Ordinance applies to all property designated on the Barber Valley Specific Plan Zoning Map (attached as Exhibit A) and the Barber Valley Specific Plan Land Use Sub-Districts Map (attached as Exhibit B) in lieu of the Zoning Classifications chapter of the Boise City Zoning Ordinance (currently Chapter 11-4), except where noted herein. All remaining chapters of the Boise City Zoning Ordinance still apply, except where noted herein. If any provision of this Ordinance conflicts with any provision of the Boise City Zoning Ordinance, this Ordinance shall control.

11-22-02-02 INTERPRETATION OF DISTRICTS

11-22-02-02.01 Sub-Districts Established

1. Low-density Residential (SP02-LR)
2. Medium-density Residential (SP02-MR)
3. High-density Residential (SP02-HR)
4. Mixed Use: Office and Medium-density Residential (SP02-OMR)
5. Mixed Use: Office and Commercial (SP02-OC)
6. City Park (SP02-P)

11-22-02-02.02 District Boundaries

The location and boundaries of the Barber Valley Specific Plan (SP02) District are shown on the Barber Valley Specific Plan Zoning Map (attached as Exhibit A). The location and boundaries of the Barber Valley Specific Plan Sub-Districts established herein are shown on the Barber Valley Specific Plan Land Use Sub-Districts Map (attached as Exhibit B). Where any uncertainty exists as to the boundary of any such district, the following rules shall apply:

1. Where any such boundary line is indicated as following a street, alley or public way, it shall be construed as following the centerline thereof.

2. Where a boundary line is indicated as approximately following a lot line, such lot line shall be construed to be such boundary line.
3. Where a boundary line divides a lot or crosses unsubdivided property, the location of such boundary shall be as indicated upon the Barber Valley Zoning Map.

11-22-02-03 CONFORMITY REQUIRED

11-22-02-03.01 General

Except as otherwise provided herein, all land, buildings and premises in any district established herein shall be used only in accordance with the regulations established herein for that district. Additionally, no property shall be allowed to maintain an attractive or public nuisance as defined by the Boise City Zoning Ordinance and/or state code at any time.

11-22-02-03.02 Purpose of SP02-LR Sub-District

The purpose of the SP02-LR Sub-District is to provide for the development of diverse urban housing products at a net density of approximately 2 to 6 units per acre. This area may include a variety of lot sizes, with lots as small as 3500 square feet allowed, but overall gross density cannot exceed six (6) units per acre. Attached units are allowed within the overall density limitations. Accessory dwelling units and uses are also allowed, along with community uses such as parks, community centers and recreational facilities.

11-22-02-03.03 Purpose of SP02-MR Sub-District

The purpose of the SP02-MR Sub-District is to (a) accommodate medium density residential uses at a net density of approximately 6 to 18 units per acre; (b) provide an orderly transition from more intensive, higher density uses to less intensive, lower density uses; and (c) allow limited cottages and quasi-residential uses, including senior housing and care facilities. The SP02-MR Sub-District includes significant flexibility in lot sizes and restrictions, and anticipates residential uses ranging from row houses and townhouses to condominiums and multi-story apartments. A range of civic and recreational facilities is allowed, along with office, medical and personal service commercial uses that are ancillary to senior housing and care facilities.

11-22-02-03.04 Purpose of SP02-HR Sub-District

The purpose of the SP02-HR Sub-District is to (a) accommodate higher density residential uses at a net density of approximately 18 to 40 units per acre; and (b) encourage residential uses that are convenient to shopping, recreation, cultural and other concentrated community facilities. The range of uses is similar to the SP02-MR Sub-District, with the addition of hotels, restaurants, cafés, coffee shops and theaters as allowed uses.

11-22-02-03.05 Purpose of SP02-OMR Sub-District

The purpose of the SP02-OMR Sub-District is to accommodate medium density residential uses, business and professional office uses, and complementary commercial uses such as hotels, restaurants and theaters, together with necessary off-street parking facilities. The SP02-OMR Sub-District will emphasize high quality design, pedestrian orientation, and flexible development standards.

11-22-02-03.06 Purpose of SP02-OC Sub-District

The purpose of the SP02-OC Sub-District is to provide a significant commercial and office component in Barber Station, together with necessary off-street parking facilities. The SP02-OC Sub-District will

emphasize high quality design, pedestrian orientation, and flexible development standards. Large office buildings are allowed in this area, along with retail, shopping, service, lodging, and civic uses.

11-22-02-03.07 Purpose of SP02-P Sub-District

The purpose of the SP02-P Sub-District is to accommodate City park uses, including indoor and outdoor recreational facilities and any necessary parking. The SP02-P Sub-District may also include dedicated open spaces, protected environmental sites such as wetlands and riparian areas, and hazardous areas such as floodways and steep slopes.

11-22-02-03.08 Design Review

- A. Creation of BVD Design Review Overlay District. This ordinance creates an overlay district within portions of Barber Valley called the Barber Valley Design District ("BVD District"). The BVD District overlays the SP02-MR, SP02-HR, SP02-OMR and SP02-OC Sub-Districts.
- B. Applicability. Any visible exterior improvements to a site, building or structure (including new facilities, remodeling, rehabilitation projects and expansion projects) within the BVD District shall require submittal of a Design Review application and fee in accordance with Chapter 11-07 of the Boise City Code, except where expressly modified herein.
- C. BVDR Board Review. Development applications within the BVD District must be submitted to the Barber Valley Design Review Board ("BVDR Board") prior to submission to the City for design review approval. The BVDR Board shall forward their decisions on to the City for their consideration for all projects..
- D. Application Content. Any BVD District application to the City shall be accompanied by the information required by Chapter 11-07 of the Boise City Code and by the findings, conclusions and any conditions of approval issued by the BVDR Board.
- E. Level of Review. The Planning Director shall determine whether an application shall be processed at the administrative level or Design Review Committee ("Committee") level; provided, however, (i) all applications for projects that have less than 5,000 square feet of gross building area and less than 20,000 square feet of site improvements shall be administratively reviewed by the Planning Director and (ii) all applications for a Continuing Care Retirement Community shall be reviewed at the Committee level..
- F. Procedures. With due consideration to the decision of the BVDR Board, the Planning Director or Committee, as appropriate, shall review the application to determine whether the proposed application complies with the design review objectives, considerations and guidelines set forth in Chapter 11-07 and the design criteria for the BVD District as set forth in the Barber Valley Specific Plan. Upon making such determination, the Planning Director or Committee shall issue its findings of fact, conclusions of law and conditions of approval. Any action of the Planning Director or the Committee may be appealed pursuant to the appeal provisions of the Boise City Code.

11-22-02-03.09 Allowed Uses

Table 11-22-02-03.09 sets forth the allowed uses in each Sub-District established herein. Allowed uses are designated with a "•". Uses listed but not designated as allowed in Table 11-22-02-03.09 are prohibited. Uses not listed in Table 11-22-02-03.09 are allowed only upon a determination by the Planning Director that such uses are similar or compatible in nature to the allowed uses in Table 11-22-02-03.09. Any affected person may appeal such a determination of the Planning Director to the Planning and Zoning Commission within ten (10) calendar days following the date the decision is mailed in accordance with Chapters 11-3 and 11-6 of the Boise City Zoning Ordinance.

TABLE 11-22-02-03.09

	SP02-LR	SP02-MR	SP02-HR	SP02-OMR	SP02-OC	SP02-P
a. RESIDENTIAL						
Apartment or Multiple Family Dwelling*		•	•	•		
Row House (Townhouse)	•	•	•	•		
Duplex House	•	•	•	•		
Single Family Residence or Cottage	•	•	•	•		
Condominiums	•	•	•	•		
Home Occupation						
Continuing Care Retirement Community*		•	•	•		
Assisted Living Apartment*		•	•	•		
Skilled Nursing Care Facility*		•	•	•		
Memory Care Facility*		•	•	•		
Accessory Dwelling Unit	•	•				
Accessory Use	•	•	•	•		
Common Areas to Support Allowed Uses	•	•	•	•	•	
b. LODGING						
Hotel (no room limit)			•	•	•	
Hotel (up to 12 rooms)			•	•	•	
Inn (up to 5 rooms)	•		•	•	•	
Motel						
c. OFFICE/RETAIL						
Office – Business, Professional, Medical			•	•	•	
Retail Store (convenience, clothing, video rental, sundries, pharmacy etc.)					•	
Personal Service Store (dry cleaning, Laundromat, barber shop, etc.)			•	•	•	
Service Station					•	
Automobile Service					•	
Lot, Automobile Sales						
Drive-Up Window					•	
Billboard						
Shopping Center, Convenience Commercial, Neighborhood Commercial or Community Commercial					•	
Shopping Center, Regional Commercial						
Car Wash					•	
Grocery (up to 60,000 square feet)					•	
Bank					•	
Building Materials Supply					•	
Wholesale Business					•	
Restaurant, Café, Coffee Shop			•	•	•	
Tavern					•	
Liquor Store					•	
Adult Cabaret, Adult Motion Picture Theater, Adult Theater, Bikini Bar						
Temporary Sales Offices	•	•	•	•	•	
Model Homes or Units	•	•	•	•	•	

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	SP02-LR	SP02-MR	SP02-HR	SP02-OMR	SP02-OC	SP02-P
Health Club Facility			•	•	•	
Spa/Resort				•	•	
Nursery (retail or greenhouse)*		•	•	•	•	
d. CIVIC (PUBLIC AND PRIVATE)						
Bus Shelter	•	•	•	•	•	
Fountain or Public Art	•	•	•	•	•	•
Library	•	•	•	•	•	
Theater				•	•	
Outdoor Auditorium			•		•	•
Park	•	•	•	•	•	•
Playground	•	•	•	•	•	•
Parking Lot		•	•	•	•	•
Parking Structure		•	•	•	•	
Conference Center				•	•	
Community Center	•	•	•	•	•	
Religious Institution	•	•	•	•		
Clubs, Lodges, Social Halls	•	•	•	•	•	
Private Open Space	•	•	•	•	•	
Recreation Center				•	•	•
Outdoor Recreation Facility	•	•	•	•	•	•
Swimming Pool	•	•	•	•	•	•
Golf Course						
Golf Driving Range						
e. CIVIL SUPPORT						
Fire Station	•	•	•	•	•	
Police Station		•	•	•	•	
Cemetery						
Funeral Home				•	•	
Hospital				•	•	
Medical Clinic (accessory use only in MR and HR)*		•	•	•	•	
Rehabilitation Clinic				•	•	
Hospital. Large Animal or Small Animal				•	•	
f. EDUCATION						
School (public, private or parochial)	•	•	•	•	•	
School, Trade or Vocational			•	•	•	
Family Child Care Home (1-6 children)	•	•	•	•	•	
Group Child Care (7-12 children)		•	•	•	•	
Intermediate or Large Child Care Center (13+ children)			•	•	•	
g. INDUSTRIAL						
Heavy Industrial Facility						
Light Industrial Facility						
Agriculture						
Livestock						
Laboratory				•	•	

	SP02-LR	SP02-MR	SP02-HR	SP02-OMR	SP02-OC	SP02-P
Public Utility Facility – Minor		•	•	•	•	
Public Utility Facility – Major						
Wireless Communication Facility, Micro-Cell or Visually Unobtrusive/Attached		•	•	•	•	
Other Wireless Communication Facility						
Mini-Storage						
Warehouse						
Manufacturing Facility						
Power Production Facility						
Broadcasting Facility (e.g. TV, radio), Micro-Cell or Visually Unobtrusive/Attached				•	•	
Other Broadcasting Facility (e.g. TV, radio)						

* This use is not allowed in the 8-acre parcel in the SP02 MR Sub-District.

11-22-02-03.10 Lot and Structure Dimensions

Table 11-22-02-03.10 sets forth the lot, yard, density and structure height requirements for uses within each Sub-District established herein.

TABLE 11-22-02-03.10

	SP02-LR		SP-02 MR ¹		SP02-HR	SP02-OMR	SP02-OC	SP02-P
a. MAXIMUM DWELLING UNITS PER ACRE	6		18 ²		40	18	0	--
	Attached	Detached	Attached	Detached				
b. MIN. LOT AREA (square ft)								
Interior Lot	3500	4000	2000	2500	0	0	0	--
Corner Lot	4000	4500	2500	3000	0	0	0	--
c. MIN. AVG. LOT WIDTH (lineal ft)								
Interior Lot	35	40	20	25	0	0	0	--
Corner Lot	40	45	25	30	0	0	0	--
d. MIN. STREET FRONTAGE (flag lot)	10/20*	10/20*	0	0	0	0	0	--
e. MIN. BUILDING SETBACKS (lineal ft)								

¹ The following standards shall apply to the 8-acre parcel in the SP02 MR Sub-District only: (i) the maximum density shall be 12 units per acre; (ii) on perimeter lots adjacent to existing residential alleys, structures shall be no more than two (2) stories and rear yard setbacks shall be six (6) feet; (iii) alley access shall accommodate twenty-two (22) feet of backup space; and (iv) the maximum building height shall be thirty-five (35) feet.

² Skilled nursing and memory care facility beds are each counted as 1/3 of a dwelling unit.

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Front Yard & Side Yard Abutting Public St.**	10***	10***	5***	5***	0	0	0	--
Abutting public park	5	5	5	5	5	5	5	--
Rear Yard	15****	15****	5	5	0	0	0	--
Side Yard – Interior	0	5	0	4	0	0	0	--
f. MIN. PARKING LOT/SERVICE DR SETBACKS (lineal ft)								
Front Yard & Side Yard – Adj. to St.	--		7		7	7	7	--
Rear Yard & Side Yard – Interior	--		5		5	5	5	--
g. MAX. FLOOR AREA RATIO	--		--		--	--	--	--
h. MIN. LOT AREA PER UNIT (square ft)	--		--		--	--	1000	--
i. MAX. BUILDING HEIGHT (ft)	35		45		55	55	55	35

* 10' allowed with shared access easement agreement.

** Measured from back of sidewalk.

*** 20' setback required for garages accessed from public streets.

**** 5' setback allowed on corner lots with garages accessed from the side yard street (see Exhibit C); 30' setback required on lots abutting the existing Riverland Terrace Subdivision.

11-22-02-03.11 Property Development Standards

Except as follows, the Property Development Standards for the Sub-Districts established herein shall be the same as those set forth in the Boise City Zoning Ordinance at Section 11-04-04.01 through Section 11-04-04.03 for residential uses and Section 11-17-07 for office and commercial uses:

1. For attached single-family units, the minimum frontage requirement in Section 11-04-04.03 is reduced to 18 feet.
2. For lots with 0' frontage on a public right-of-way, drive aisles will provide access to the public street with perpetual ingress/egress or cross access easements recorded against the property. An owner's association or other agreed upon arrangement among the affected property owners will maintain the drive aisles in accordance with a recorded declaration. The easements and declaration must be reviewed by the Boise City Attorney's office at the time of preliminary plat approval to ensure the access and maintenance obligations of this paragraph are addressed. The Ada County Highway District must approve installation of any required street signs. Buildings will be addressed to the public street from which the drive aisles extend. Addresses will be clearly delineated with appropriate monuments or signs.
3. Off-street parking and loading facilities shall be provided in accordance with Section 11-22-02-04 of this Ordinance.
4. The maximum number of residential units allowed within the Barber Valley Specific Plan District is 1025. The maximum combined office and commercial square footage allowed within the Barber Valley Specific Plan District is 541,500. To exceed either of these limits, the Barber Valley Specific Plan Applicant must follow the rezone procedures of the Boise City Code to amend the

Barber Valley Zoning Ordinance. In so doing, the Applicant need not amend the entire Barber Valley Specific Plan so long as the City finds that the revised limits are generally in accordance with the Barber Valley Specific Plan.

5. Civic uses are limited to no more than twenty percent (20%) of the developed area in the SP02-LR Sub-District.
6. A private management company must be responsible for maintenance of sprinkler systems within mixed use buildings.

11-22-02-04 OFF-STREET PARKING AND LOADING REQUIREMENTS

In the SP02-LR, SP02-MR and SP02-HR Sub-Districts, off-street parking and loading facilities shall be provided in accordance with the Off-Street Parking and Loading requirements in the Boise City Zoning Ordinance (currently Chapter 11-10), except as noted herein. In the SP02-OMR and SP02-OC Sub-Districts, off-street parking and loading facilities shall be provided in accordance with the Pedestrian Commercial Zoning District parking requirements in the Boise City Zoning Ordinance (currently in Chapter 11-17-09), except as noted herein. In lieu of the off-street parking ratio requirements in the Boise City Zoning Ordinance (currently in Section 11-10-06, Table 12 and in Section 11-17-09), non-residential uses in the SP02-MR, SP02-HR, SP02-OMR and SP02-OC Sub-Districts must meet an overall parking density of 3.5 per 1000 square feet. Assisted living apartments, independent living residences within the Continuing Care Retirement Community, and similar uses shall be subject to the off-street parking requirements for "Housing for Elderly" uses listed in the Boise City Zoning Ordinance (currently in Section 11-10-06). Memory care facilities, skilled nursing care facilities, and similar uses shall be subject to the off-street parking requirements for "Nursing Home" uses listed in the Boise City Zoning Ordinance (currently in Section 11-10-06).

11-22-02-05 ADMINISTRATIVE PROVISIONS

1. Plat Approval Criteria. Development within the Barber Valley Specific Plan District shall be subject to the subdivision and other related provisions of the Boise City Code. Additionally, the City Council must find that each preliminary plat proposed and/or amended within the Barber Valley Specific Plan District substantially conforms to the adopted Barber Valley Specific Plan and complies with all applicable provisions of the Barber Valley Specific Plan Zoning Ordinance. Plats must still proceed through the normal hearing process with review by the Planning and Zoning Commission and City Council.
2. Annexation into SP02 District. Any property owner or authorized representative may seek to reclassify their property for inclusion within the Barber Valley Specific Plan District pursuant to Chapter 11, Title 22 of the Boise City Code.
3. Amendments. Any property owner within the Barber Valley Specific Plan District may seek to amend the Barber Valley Specific Plan Zoning Ordinance or the Barber Valley Specific Plan pursuant to the Boise City Code provisions for zoning amendments.
4. Exceptions.
 - a. The Planning Director may grant exceptions to any setback, frontage, parking or height restriction up to twenty percent (20%) of the applicable limit and may grant exceptions to any use restrictions on a case by case basis.
 - b. The Planning and Zoning Commission may grant exceptions to any setback, frontage, parking or height restriction greater than twenty percent (20%) of the applicable limit.
 - c. Any approval pursuant to this section shall be supported by each of the following findings:
 - i. The exception is consistent with the Barber Valley Specific Plan; and
 - ii. The exception is justified based on unique circumstances of the proposed use or exceptional design features or the shape of the land.
 - iii. The exception would not cause undue adverse impacts on any other property.
 - iv. For any approval pursuant to subparagraph b, the exception meets the general conditional use criteria in the Boise City Zoning Ordinance.

- d. Applications pursuant to this section shall include such information as the Planning Director determines is necessary to make the applicable findings in subparagraph c.
 - e. The decision on any requested exception may be appealed pursuant to the appeal provisions of the Boise City Code.
5. Periodic Review. The Planning Director may perform a review of the implementation of the Barber Valley Specific Plan not more frequently than every one (1) year after approval of first final plat. The review may address any matters the Planning Director deems appropriate regarding the progress of the development, including but not limited to (a) the Transportation Management Association; (b) the Barber Valley Wildlife Mitigation Plan; and (c) traffic impacts until 2016. Any modification of the Barber Valley Specific Plan Zoning Ordinance may only occur after review by the Barber Valley Specific Plan Applicant and the Planning Director and in compliance with the applicable Boise City Code sections for zoning amendments and Idaho Code Section 67-6511(d).

11-22-02-06 DEFINITIONS

The following definitions, as well as definitions in Boise City Zoning Ordinance, apply to this Ordinance. If any conflict exists, the following definitions control.

Assisted Living Apartment. A residential apartment or apartment complex that provides personal care services to senior citizens for daily living needs. Assisted living services are a coordinated array of supportive personal and health services available 24 hours a day to residents who have been assessed to need these services, including residents who require long term care. Assisted living services promote resident self direction and participation in decisions that emphasize independence, individuality, privacy and dignity in a home-like surrounding.

Barber Valley Specific Plan Zoning Ordinance. Section 11-22-02 of the Boise City Code or successor section specifically setting forth zoning regulations for the Barber Valley Specific Plan District.

Barber Valley Specific Plan. The Specific Plan adopted for the Barber Valley Specific Plan District by the City of Boise on _____, as maintained in the official records of the City, including subsequent modifications.

Barber Valley Specific Plan Applicant. Brighton Corporation, or successor entities.

Barber Valley Specific Plan District. The area designated as the SP02 zone or successor designation on the City of Boise's zoning map and as shown on the Barber Valley Specific Plan Zoning Map (attached as Exhibit A).

Boise City Zoning Ordinance. The zoning regulations contained in Title 11 of the Boise City Code, or successor regulations.

Continuing Care Retirement Community. A campus-style facility (multiple buildings on a single lot) that provides housing, personal services and health care, including nursing home care to people of retirement age. The community must provide a continuum of care to meet the needs of the individual residents, from independent living to assisted living to skilled nursing care and, possibly, memory care support. Meals, housekeeping, linens, 24-hour security and recreational services usually are provided. Each individual resident enters into a contract with the retirement community that defines the type of housing and services to be provided and the fees that will be charged.

Memory Care Facility. Same as Skilled Nursing Facility except the residents also receive care for some form of memory impairment.

Skilled Nursing Facility. A residential facility that provides 24-hour supervision by licensed nurses. The care usually is prescribed by a physician. Emphasis is on medical care, supplemented by physical, occupational, speech and other types of therapies. Personal care services, such as help with meals,

bathing, dressing and grooming are also provided along with social services, religious services and recreational activities. A nursing facility offers care for individuals suffering from chronic diseases or conditions that do not require the constant attention of physicians. Services are provided that address the individuals' personal care and social-emotional needs.

Exhibit A

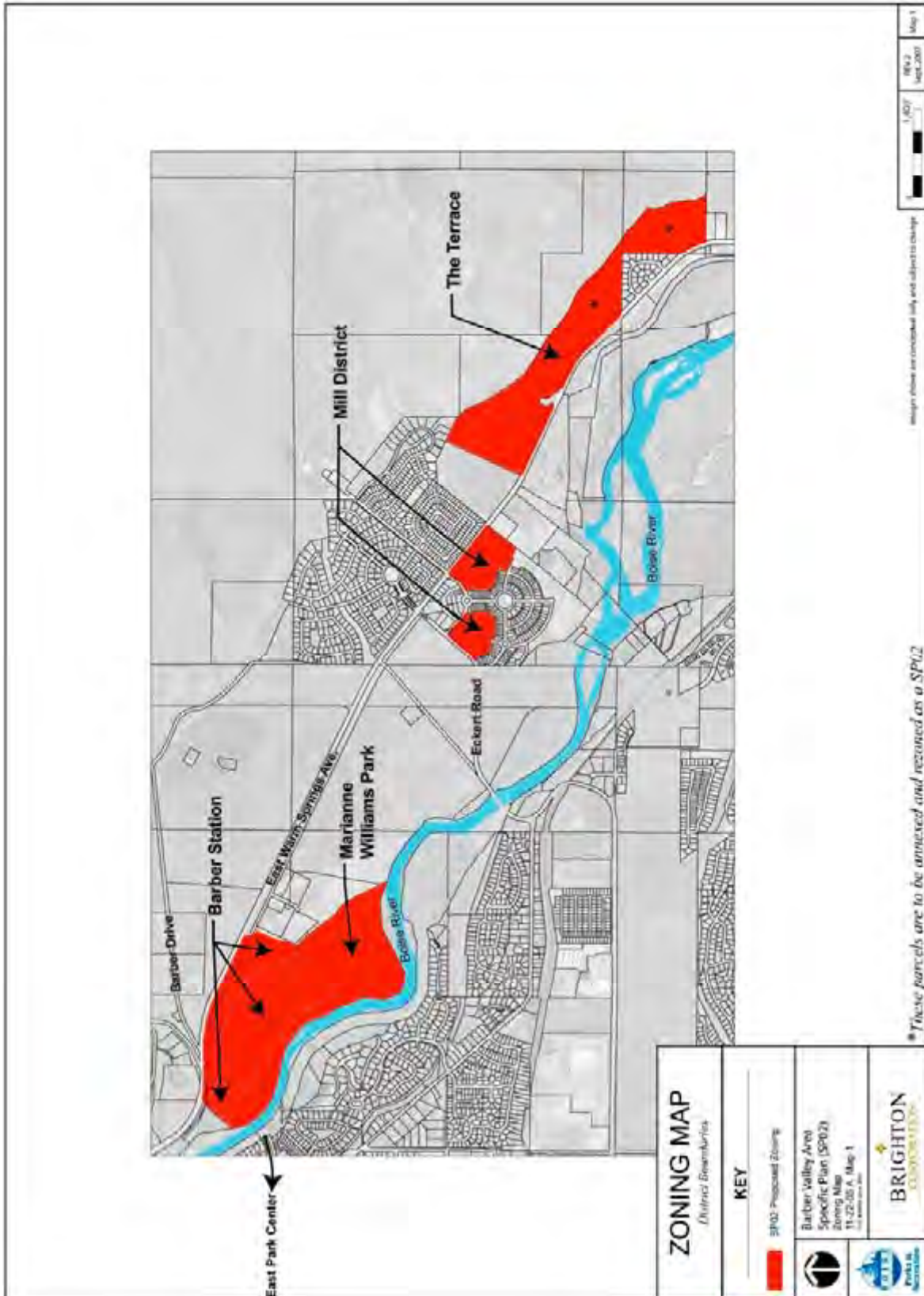


Exhibit B

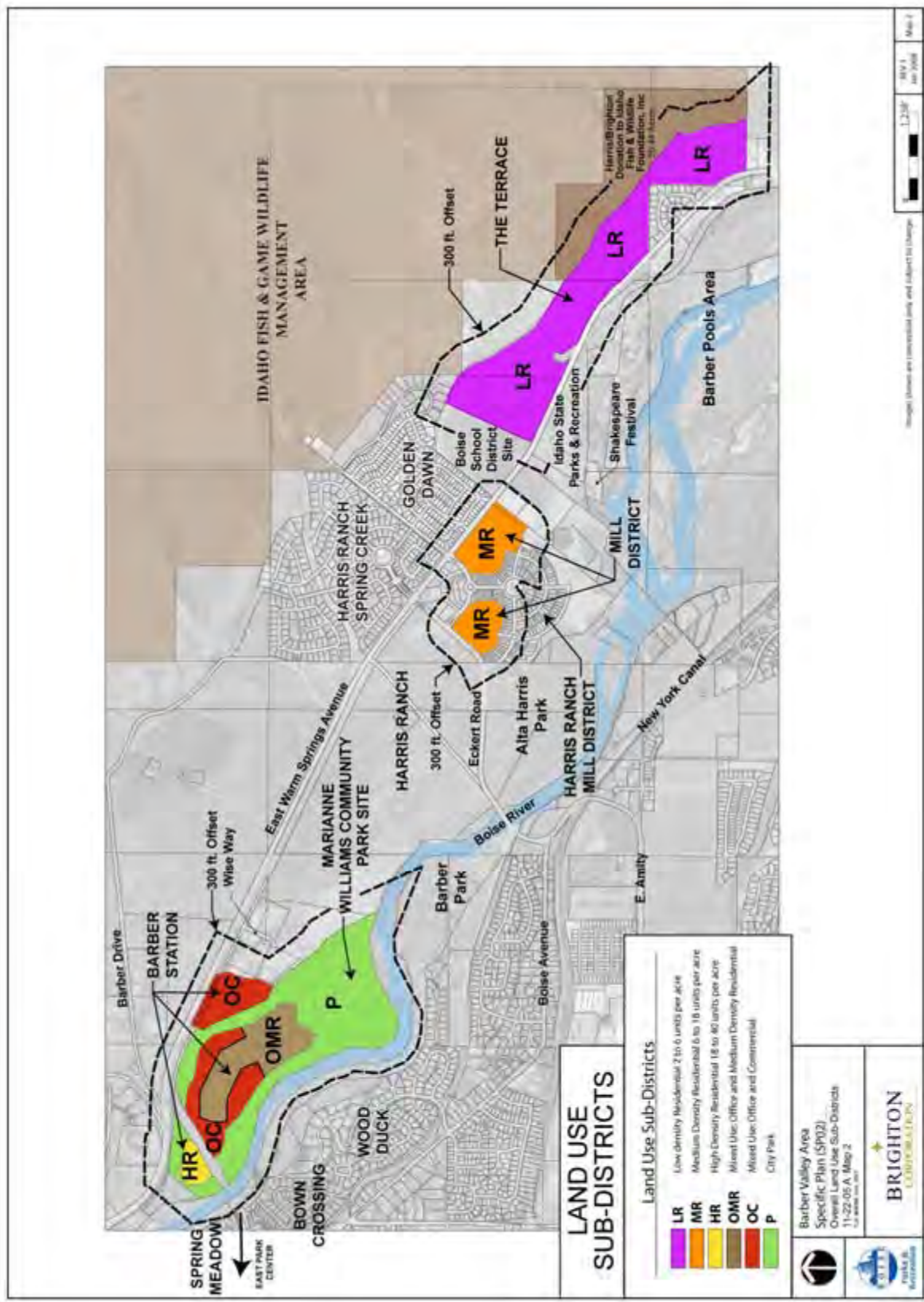
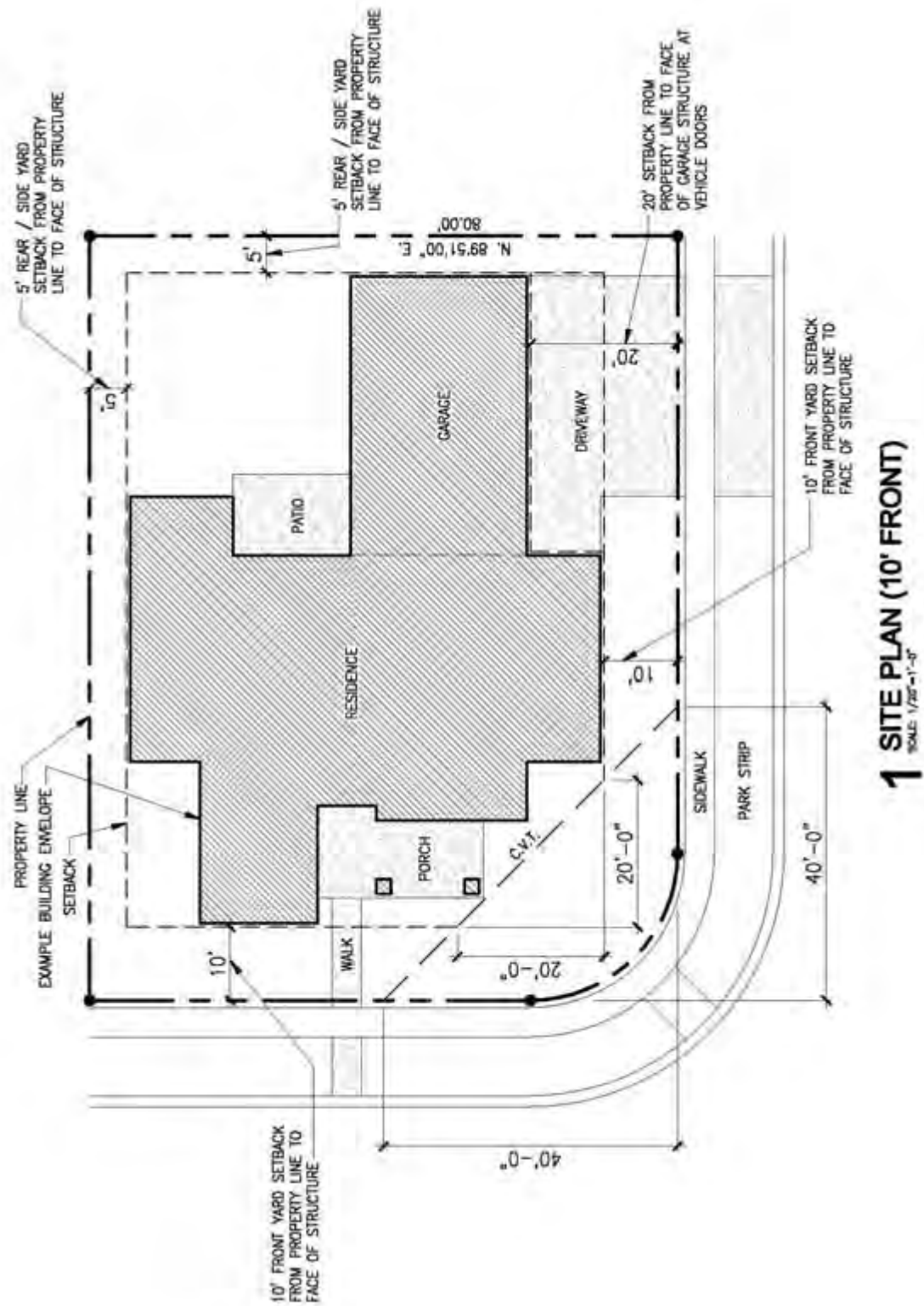


Exhibit C



BARBER VALLEY SPECIFIC PLAN
ANALYSIS OF ORIGINAL HARRIS RANCH CONDITIONS OF APPROVAL

1. No change in the terms and conditions of this approval shall be valid unless in writing and signed by the applicant or his authorized representative, and an authorized representative of the City of Boise. The burden shall be upon the applicant to obtain the written confirmation of any change and not upon the City of Boise.

This condition will be satisfied upon the City's approval of the Barber Valley Specific Plan application.

2. Any change by the applicant in the planned use of the property which is subject of this application, shall require the applicant to comply with all rules, regulations, ordinances, plan, or other regulatory and legal restrictions in force at the time the applicant or its successors in interest advises the City of its intent to change the planned use of the property described herein unless a variance in said requirements or other legal relief is granted pursuant to the law in effect at the time the change in use is sought.

This condition will be satisfied upon the City's approval of the Barber Valley Specific Plan application. The change in use proposed in the application comports with all applicable rules, regulations, ordinances, and comprehensive plan.

3. Future detailed submittal, such as Conditional Use Permits, Design Review Applications, Subdivision, etc., shall be in compliance with plans on file in the Planning Department, dated received February 25, 1997 or except as modified or approved by the Planning and Zoning Commission or City Council.

The currently applicable plan is dated August 23, 2002 (the "2002 Plan"). In general, the Barber Valley Specific Plan is similar to the 2002 Plan with the following changes that on the whole will add open space and offer a more mixed-use feel: (a) the Marianne Williams Park replaces a portion of the area designated as "Business Park" in the 2002 Plan, (b) the Business Park area will include commercial and office areas, as well as medium and high density residential development; (c) the area designated as "Commercial" in the 2002 Plan will also include office and medium density residential uses; and (d) road locations and circulation patterns are refined.

4. This Planned Development approval is conceptual only. The City reserves the right to require additional conditions or modifications to this Master Plan. This conditional use shall be valid for a period not to exceed eighteen (18) months from the date of approval by the Planning and Zoning Commission. Within this period the holder of the permit must:
 - A. Commence the use permitted in accordance with the Conditions of Approval or
 - B. Prior to the expiration of this eighteen (18) month approval period, the Commission may, upon written request by the holder, grant a one (1) year time extension. A maximum of three (3) extensions may be granted; one extension has already been granted.

Upon approval by the City, this condition will be of no further force or effect with respect to the Barber Valley Specific Plan. Instead of requiring a conditional use process, permit applications in the Barber Valley Specific Plan area will be judged based on the Barber Valley Specific Plan Zoning Ordinance.

5. All phases of the project shall require approval through the detailed conditional use planned development process.

Upon approval by the City, this condition will be of no further force or effect with respect to the Barber Valley Specific Plan. Instead of requiring a conditional use process, permit applications in the Barber Valley Specific Plan area will be judged based on the Barber Valley Specific Plan Zoning Ordinance.

6. The alignment of the proposed paved public Greenbelt path and Ridge to Rivers pathways shall be depicted on a revised master plan map to be submitted with any forthcoming development applications as follows:

- A. The conceptual alignment of Ridge to Rivers pathways shall be as shown in the approved Master Plan dated August 23, 2002, as approved by City Council.

The Barber Valley Specific Plan area does not include any Ridge to Rivers pathways.

- B. The conceptual alignment of the paved Greenbelt path shall be shown on a revised master plan for the project as follows:

1. The conceptual alignment for the paved public Greenbelt path shown in the Master Plan dated August 23, 2002, as approved by the City Council, for the area between the west end of the project west of Starview Drive off Warm Springs Avenue to Eckert Road.

The paved greenbelt path is entirely within Marianne Williams Park and is generally consistent with the 2002 Plan.

2. The conceptual alignment of the paved public greenbelt path alignment shown in the approved Alta Harris Community Park Master plan for the area between Eckert Road to the eastern limits of the Idaho Power Transmission line corridor.

This pathway is not within the Barber Valley Specific Plan area.

3. The applicant shall identify a conceptual paved greenbelt path alignment for continuation of the path from the east side of the Idaho Power Transmission line corridor to Lysted Road subject to the following general requirements:

This pathway is not within the Barber Valley Specific Plan area.

- a. The public paved path alignment shall be conceptually located north of Alta Harris Creek and south of Mill Station Subdivision. All lands south of the paved path to the Boise River shall remain in a natural state. However, public improvements such as sidewalks, walkways, garbage cans, and benches shall be allowed.

- b. The alignment shall not allow for at-grade vehicle crossings.
 - c. Path size and alignment shall conform to adopted Class I bike path standards.
4. The path alignment shall be as depicted on the attached concept map, labeled "Exhibit A: January 9, 2005", to complete the path concept for its length between Eckert and Lysted Roads south of the Mill district.

This pathway is not within the Barber Valley Specific Plan area.

7. The applicant shall identify and map one 7-acre neighborhood park site and one 20-acre community park site to be submitted within any forthcoming development applications.
- A. The proposed 20 acre Alta Harris Community Park shall be located as shown in the Master Plan dated August 23, 2002.
 - B. 7 acre public neighborhood park shall be shown on the revised master plan. Location shall be subject to review and approved by Boise City Parks Department.

The parks described are not within the Barber Valley Specific Plan area. The Barber Valley Specific Plan includes the 70-acre Marianne Williams Park, which is in addition to the park sites contemplated in the original Harris Ranch plan.

8. (Condition was deleted by P&Z Commission on September 19, 2005.)
9. The conceptual alignment of the gravel path adjacent to the river is approved as depicted on the Harris Ranch Master Plan dated August 23, 2002, as approved by the Boise City Council.
- A. The applicant shall grant to Boise City an easement to construct, maintain and manage the proposed gravel pathway.
 - B. The gravel pathway shall be managed by the City for pedestrian foot traffic only.
 - C. The gravel path will be open to the public subject to seasonal closures as deemed appropriate by the Idaho Fish and Game Department to protect trout spawning activities.
 - D. The gravel path will be named the Dallas Harris Legacy walk and will be signed as such by the Applicant.

The Dallas Harris Legacy walk is not within the Barber Valley Specific Plan area. The Marianne Williams Park will include gravel pathways generally consistent with the 2002 Plan.

10. Landscape plans for areas adjacent to proposed and existing pathways shall be submitted for review and approval by the Board of Parks and Recreation Department as part of the detailed approval for each individual phase, for recommendation to the Planning & Zoning Commission.

Barber Valley's plans are consistent with this condition. The pathways are within Marianne Williams Park, and landscaping is addressed in the Park's master plan, which has been approved by the Parks and Recreation Board of Commissioners. Brighton

Corporation has an agreement with the City to design and build the park in accordance with the master plan.

11. The construction of the West ParkCenter Bridge and the East ParkCenter Bridge is critical to the development of this project. The West ParkCenter Bridge is constructed and complete. Approval of any future development prior to the East ParkCenter Bridge being complete must take into consideration the impact to the surrounding community. An application for a conditional use permit shall be required. Any conditional use permit application shall include, at a minimum, the demonstration of implementation and public agency review of the following:

A development agreement with ACHD provided right-of-way for the East Park Center Bridge and the funding mechanism to construct the bridge. Construction of the East Park Center Bridge is scheduled for 2008. The applicant of the Barber Valley Specific Plan, Brighton Corporation, has done its part to get the bridge built and it is no longer appropriate to condition future development on completion of the bridge. The schedule for bridge construction is now in ACHD's control.

- A. Implementation of an acceptable traffic mitigation plan as required by the City of Boise.

On the whole, Barber Valley will provide trip capture for Harris Ranch and therefore traffic mitigation should not be a major concern. Nonetheless, Brighton is willing to participate proportionately in a Transportation Management Association (TMA) as proposed by Harris Ranch, or to adopt a program of substantially similar scope.

- B. Demonstration that the proposed development will not affect or involve unresolved Master Plan issues including school and park sites, pathways or greenbelt locations and designs.

The Barber Valley Specific Plan does not include a school site. East Junior High School will be located adjacent to the west end of The Terrace area of the project. See Section 3 (Conceptual Master Plan map for The Terrace and Mill District). The Barber Valley Specific Plan application addresses commitments for park sites, and pathway and greenbelt locations and designs in Sections 2 (p. 7) and 3 (Conceptual Master Plan maps). We provide additional information under condition nos. 6 (pathways), 7 (parks) and 39 (school).

- C. A Wildlife Mitigation Plan as required by the City of Boise for the development area proposed which may include but not be limited to, measures pertaining to black cottonwood and riparian habitat, wildlife corridors, eagle perch sites, big game winter ranges and related ecology.

The Barber Valley Specific Plan application includes a Wildlife Mitigation Plan in Section 16 (summary is Section 9) Wildlife mitigation is provided for primarily through the provision of a wildlife corridor through the Walling Creek and The Terrace areas, and sensitive design and mitigation in Marianne Williams Park.

12. Warm Springs Avenue may be relocated to the north end of the valley on the site, and Eckert Road may be relocated to the east. This requires Planning and Zoning Commission approval for the exchange of right-of-way and rebuilding the roads to their

current width. If wetlands are affected by the roadway relocation, proper permits from the Federal Government will be required. The exact alignment of the roads will be approved through future detailed development applications.

This condition does not apply. The Barber Valley Specific Plan application does not propose to significantly realign either Warm Springs Avenue or Eckert Road.

13. The detailed Harris Ranch Master Plan will define traffic calming measures and designs for Warm Springs Avenue to be included in any forthcoming development applications. This shall include a circuitous connection to Warm Springs Avenue and may also include boulevard treatments and pedestrian and bicycle accommodations. The applicant shall cooperate with ACHD, the abutting property owners, the residents and interested members of the public to jointly design and construct its proportionate share of a circuitous connection of Warm Springs Avenue west of the ParkCenter Boulevard extension. No building permits will be issued until such design and construction has occurred with the construction of the East ParkCenter Bridge or there is adequate traffic mitigation pursuant to condition 11. The requirement for the circuitous connection may be eliminated upon a showing that other traffic calming devices have kept a level of service C on Warm Springs. Starview Drive will not be used to provide this circuitous connection.

The East Park Center Bridge is scheduled to be built in 2008. The project will include whatever circuitous route for Warm Springs Avenue that ACHD approves. These decisions are fully within ACHD's authority and should not affect project approval.

14. Roundabouts are conceptually approved. The design of the roundabouts shall address the safety of pedestrians and bicyclists as determined adequate by ACHD, with reference to the Boise City Comprehensive Plan and Boise Fire Department standards.

The Barber Valley Specific Plan proposes roundabouts on Warm Springs Avenue through The Terrace area; the roundabouts would be designed in accordance with ACHD standards. The Traffic Impact Study, in Section 19 of the Barber Valley Specific Plan application, notes that the Boise Fire Department has reviewed the design of the proposed roundabouts and concluded that the proposed roundabouts will not have a significant negative effect on response time and will accept them as proposed.

15. (Condition was deleted by P&Z Commission on January 9, 2006.)

16. The applicant shall contribute the proportionate cost share of a traffic signal (including Opticom) at the intersection of Warm Springs Avenue and Eckert Road when such signal is determined warranted by the Ada County Highway District under standards for "warrants."

Harris Brighton LLC has placed \$25,000 in escrow to satisfy this condition. The East End and Harris Ranch Neighborhood Associations are proposing a roundabout in lieu of the traffic signal at the intersection of Warm Springs Avenue and Eckert Road. Brighton Corporation has agreed to participate pro rata with ACHD and Harris Ranch if approved by all parties. Otherwise, the cost of the signal would have to be shared pro rata between ACHD, Harris Ranch, and Brighton Corporation.

17. If Ada County Highway District Traffic Services staff determines a signal at Boise Avenue and Law Avenue is warranted, based on standards for “warrants,” the applicant shall contribute its proportionate share of the cost to design and install a traffic signal with an Opticom as part of the signal cost.

We do not believe this condition remains applicable, particularly with the construction of Bown Crossing and we request that the City and ACHD revisit the need for this condition.

18. The applicant is required to abide by the agreements as set forth in the development agreement between the applicant and the ACHD, for the construction of the East ParkCenter Bridge, including securing adequate property for right-of-way for a four lane bridge and connecting roadways.

Brighton Corporation has entered into a revised development agreement with ACHD. The development agreement provides for the donation of right-of-way and a funding mechanism for construction of the East Park Center Bridge.

19. (The Holcomb Road extension was completed; the condition has been satisfied.)

20. Prior to any future development applications, the applicant shall develop a Transportation Management Association (TMA) for the site. The TMA shall be coordinated with area residents, businesses in the Barber Valley, ACHD, Boise City, Ada County, Compass and alternative transportation organizations. Applicant shall hire a coordinator qualified in community education, public outreach and transportation to work as a liaison between businesses and private and public transportation providers to increase the use of alternative transportation and other trip reduction measures (shuttle buses, bus pass program, van pools, car pools, bicycle and walking enhancements). The Applicant shall establish how the Liaison will function between businesses and private and public transportation providers. Upon a demonstration to Boise City staff that this position is no longer needed, this position may be terminated.

Brighton Corporation is willing to participate proportionately in the TMA as proposed by Harris Ranch, or to adopt a program of substantially similar scope.

21. An annual survey will be required of the TMA to monitor participation in alternative transportation programs and forwarded to the ACHD Commuteride Office and to determine the trip capture ratio being achieved by the project. This ratio will be used to analyze traffic impacts of subsequent phases of the Harris Ranch project. An annual survey will be required of the TMA to monitor participation in alternative transportation programs and forward the results of the same to the Ada County Highway District Commuteride Office, Compass and City Planning director to determine if the 40% trip capture ratio is being achieved by this project, the studies will be used to analyze traffic impacts of subsequent phases of the Harris Ranch project and future phases may be limited based upon the traffic impacts and the actual trip capture rate if it does not achieve the anticipated 40% rate.

The Barber Valley Specific Plan has a significant office and commercial component, which is projected to create a 22% trip capture rate. Brighton Corporation also will participate in a TMA program as discussed above, which is projected to create an additional 5% trip capture.

22. A detailed traffic analysis will be required for each project phase beginning with the next phase of development to determine impacts the project may have on the transportation network. These analyses will use the expected 40% trip capture rate calculation as a part of the annual analysis. Additional requirements will be added as each phase of the development is processed with a detailed land use application.

A traffic analysis is included in Section 19 (summary in Section 13) of the Barber Valley Specific Plan application. This analysis assumes a 22 percent capture rate plus an additional capture rate of 5 percent for the TMA.

23. Stub streets to the undeveloped parcels abutting this site will be required upon review of future applications for this site.

Agreed. This condition is likely to apply only in The Terrace portion of the development.

24. (The West ParkCenter Bridge has been constructed; the condition has been satisfied).

25. The results of traffic analysis and trip capture must be monitored for each phase, and the results provided to the City of Boise, ACHD and COMPASS so these agencies can understand the true impacts of mixed use development on the local roadway system and future phases may be affected by these analysis if the 40% capture rate is not achieved.

See response to Condition 21.

26. The applicant, in conjunction with ACHD, shall design and pay their proportionate share of the safe-pedestrian/bicycle crossings along Warm Springs Avenue to provide access to the commercial areas, elementary school, foothills trails, and the greenbelt.

This condition is not applicable to the Barber Valley Specific Plan application.

27. The District approves the site shown on the conceptual plan dated August 23, 2002. Should the District's plans change; the District and the Applicant will identify another site that is mutually acceptable. The Applicant will work with the District to design safe pedestrian and bicycle access to the site. Per the letter from the District dated August 10, 2005 and signed by the Superintendent of Schools

Brighton Corporation has made a junior high school site available to the District. The application for the school is proceeding separately.

28. The applicant shall prepare a transportation management plan in coordination with COMPASS, ACHD and Boise Urban Stages to achieve a 10% reduction in trips through transportation alternatives. The plan will be submitted to ACHD for their review and approval. The plan should include annual monitoring. The plan will include annual monitoring and if a 10% goal is not achieved, revisions will be made in conjunction with COMPASS.

As mentioned above, Brighton Corporation will participate in the TMA. The goal is for the TMA to reduce trips by 5 percent. The Barber Valley Specific Plan includes a

significant component of commercial and office uses, which will help with trip capture from the Harris Ranch development.

29. (Condition was deleted and consolidated into condition #27 by the P&Z Commission on September 19, 2005.)
30. The applicant shall work with Ada County Highway District to ensure the level of service C functionality of Warm Springs Avenue and that the level of service is defined at between 14 and 15 thousand average annual daily traffic (AADT) at the intersection of Warm Springs and Walnut.

Traffic conditions are improving on Warm Springs Avenue; traffic has declined every year since 2002. The location and design of the Barber Valley Specific Plan area (especially the Barber Station area) and the surrounding roadways will tend to send traffic across the new East Park Center Bridge rather than down Warm Springs toward downtown. In addition, the Barber Valley Specific Plan will include a significant component of commercial and office uses, which together with the TMA, are projected to capture 27% of vehicle trips. Finally, ACHD plans to construct a roundabout at the Penitentiary, which may further reduce traffic on Warm Springs.

31. The applicant shall mitigate for project-related impacts to wildlife and wildlife habitats. The applicant shall develop and implement a Wildlife Mitigation Plan approved by the Idaho Department of Fish and Game prior to any further land use approvals. The plan shall include, but not limited to, location of wildlife migration corridors, riparian habitats, wetlands, and open space areas left in its natural condition (big game winter range); steps taken to permanently protect these areas; a timeline for completion of mitigation activities; and a monitoring program in addition to all mitigation components identified in the letters from Fish and Game dated April 28, 1997 and October 2, 2002 (see attached letters from Idaho Fish and Game, labeled Fish and Game Letter 1 & 2). Such a plan will be required for review and approval by the Idaho Fish and Game Department and/or U. S. Fish and Wildlife Service. The Fish and Game Department and/or U. S. Fish and Wildlife Service shall review the plan and provide comments to the City prior to the City approving the plan. This must occur prior to any future development request related to Harris Ranch.

The Wildlife Mitigation Plan for the Barber Valley Specific Plan is included in Section 16 of the Barber Valley Specific Plan application. Barber Valley includes significant wildlife enhancements, particularly in Marianne Williams Park, which includes 70 acres of naturalized and passive park use areas, creation of trout habitat and a wildlife corridor in Walling Creek, and an extensive network of Greenbelt and other paths adjacent to the Boise River. The Barber Valley Specific Plan also will protect/enhance the Maynard Creek drainage and other minor drainages in The Terrace area of the project. Brighton Corporation has proposed roundabouts on Warm Springs as a traffic calming measure that will aid deer crossings. Additional mitigation measures are discussed in the Wildlife Mitigation Plan.

32. The developer shall create a plan, acceptable to the Idaho State Historical Society, for mitigation of impact to culturally significant sites within the development. The Barber Dam site and ancillary uses.

A historical survey was completed with the original Master Plan and an update is included in Sections 10 and 17 of the Barber Valley Specific Plan application. The Barber Valley Specific Plan area includes no designated historical sites.

33. Any required permits under Section 404 of the Clean Water Act shall be obtained prior to the issuance of any permits.

Agreed.

34. Approved river access points for river rescue services shall be provided at three locations. One shall be located in the area of the re-aligned Eckert Road, east of the Ridenbaugh Canal diversion dam. Another shall be integrated into the pathway approaching the river across from Barber Park. The third shall be located near the ParkCenter river crossing.

The Barber Valley Specific Plan application accommodates the Park Center river crossing site as set forth in Section 15 of the application.

35. A fire station site shall be provided to the Boise Fire Department, as agreed per the Memorandum of Understanding dated September, 1999 (Resolution #15644). The site is required to be depicted on a map associated with any forthcoming development application.

No fire station is required within the Barber Valley Specific Plan area.

36. All contractors providing services for any construction of the Harris Ranch project shall be required, if physically possible, to take access from points other than Warm Springs or Boise Avenue.

Agreed.

37. Any utilization of the geothermal resource must specifically comply with any requirements imposed by the Idaho Department of Water Resources in the interest of not diminishing any existing geothermal water rights.

This condition is not applicable to the Barber Valley Specific Plan application.

38. The applicant is required to submit the FEMA map determination as completed on February 19, 2004 and include it on any affected land area within any forthcoming development application. The information will be required to be shown on any revised Master Plan.

The FEMA information is shown in Section 15 of the Barber Valley Specific Plan application.

39. The applicant shall identify one 7-acre elementary school site as part of the revised Master Plan location, shall be subject to review and approval by the Boise School District and that the City requests the District to balance the educational goals it seeks to achieve with the desire to have schools more centrally located within projects.

The Barber Valley Specific Plan area does not include an elementary school site.

40. The total retail space in the Master Plan shall not exceed 400,000 square feet.

This Barber Valley Specific Plan will replace this condition. The Barber Valley Specific Plan project will include approximately 542,000 sq. ft. of commercial and office uses in the same general area as allowed in the 2002 Plan. This does not include a specific limit on retail space. The philosophy surrounding the Barber Valley and Harris Ranch Specific Plans has changed somewhat since the 2002 Plan. The current plans place a much greater emphasis on mixed use and traffic reduction by creating more commercial uses near where people live. Consequently, the developments propose more commercial uses as a whole.

41. (Condition was deleted and consolidated into condition #27 by the P&Z Commission on September 19, 2005.)

42. Construction, use and property development shall be in compliance with plans and specifications on with the Boise City Planning and Development Services Department date stamped received on August 30, 2002, except as expressly approved by the Planning and Zoning Commission or City Council.

The Barber Valley Specific Plan will replace this condition. See response to Condition 3 for further discussion.

43. (Condition was deleted and consolidated into condition #31 by the P&Z Commission on September 19, 2005.)

44. Prior to any future submittal of a development application, for the Boise River Corridor, the applicant shall:

1) Provide documentation from USFWS that conclusively determines whether Bald Eagles either nest or perch on the subject property; and

2) If it is determined that Bald Eagles do utilize the property, the applicant shall meet all applicable regulations.

The Wildlife Mitigation Plan is included in Section 16 of the Barber Valley Specific Plan application. The only bald eagle nesting site is adjacent to Marianne Williams Park. No eagle regulations are applicable to the developed areas of the Barber Valley Specific Plan.

45. (Condition was deleted, because conditions #38 and #45 were consolidated under #38 by the P&Z Commission on September 19, 2005.)

46. (Condition was deleted and consolidated into condition #27 by the P&Z Commission on September 19, 2005.)

47. The amended Development Agreement associated with CAR99-00027/ DA shall be approved by the Boise City Attorney's office. (The related Development Agreement has previously been approved and recorded.)

The existing development agreement will be replaced as part of the Barber Valley Specific Plan approval. Brighton Corporation will work with the Boise City Attorney's office to prepare a replacement development agreement.

48. This approval does not request any new signage. A separate Sign Permit will be required from the Boise City Planning and Development Services Department prior to installation of any new sign(s).

Agreed. The Barber Valley Specific Plan application is consistent with this condition.

49. All landscaping shall be maintained in a healthy and attractive condition.

Agreed.

50. The applicant shall comply with the following agency requirements and regulations:

- A. Boise City Fire Department
- B. Ada County Highway District
- C. Boise City Public Works Department
- D. Boise City Building Department /
- E. Boise City Community Forestry
- F. Idaho Department of Fish and Game
- G. U.S. Fish and Wildlife Service
- H. Boise School District
- I. Boise City Parks and Recreation Department
- J. U.S. Department of Federal Emergency Management Act ~FEMA))

The Barber Valley Specific Plan application replaces this condition. Brighton Corporation will comply with any conditions imposed on the development by the City and ACHD.

51. An Occupancy Permit will not be issued by the Boise City Building Department until all of these conditions have been complied with. In the event a condition(s) cannot be met by the desired date of occupancy, the Planning Director will determine whether the condition(s) is bondable or should be completed, and if determined to be bondable, a bond will be required in the amount of 110% of the value of the condition(s), which are incomplete.

This condition no longer will be applicable following approval of the Barber Valley Specific Plan. Enforcement will occur through the Barber Valley Specific Plan Zoning Ordinance and other applicable ordinances of the City of Boise.

52. Failure to abide by any condition of this approval may be grounds for revocation by the Boise City Planning and Zoning Commission.

See response to condition 51.

53. All conditions associated with CU-17-97 not specifically modified by CUPO2-00055 and CUPO5-00054 are to remain in effect. Construction, use and property development shall be in compliance with approvals and modifications by the Planning and Zoning

Commission and City Council. No prior conditions are modified by this approval unless expressly modified, repealed, or amended herein.

Upon approval of the Barber Valley Specific Plan, these permit requirements will no longer apply.

- 54. (Condition was consolidated under condition #31 by the P&Z Commission on September 19, 2005,)
- 55. To the extent required by the adopted Boise City River System Ordinance, the applicant shall submit a compliant plan prior to development of areas subject to the River System Ordinance,

The only portion of Barber Valley Specific Plan subject to the Boise River System Ordinance is Marianne Williams Park. A copy of the pending Boise River System permit application is included in Section 15.

- 56. (Condition was deleted by the P&Z Commission on September 19, 2005,)
- 57. The developer shall cooperate with ACHD in the design and construction of the East ParkCenter Bridge to accommodate the continued unobstructed through connection of the paved greenbelt past the Mesa in a manner that is safe and efficient for cyclists, pedestrians and other greenbelt users.

The Barber Valley Specific Plan application is consistent with this condition. The pedestrian connections between the project, the bridge and other surrounding areas are as shown in Section 3 of the application (see Pedestrian Circulation Map).

- 58. (Condition has been satisfied, the Idaho Power electrical substation was approved at an acceptable location through the conditional use permitting process.)
- 59. (Condition was deleted by the P&Z Commission on September 19, 2005.)
- 60. (Condition was deleted by the P&Z Commission on September 19, 2005, because the intent had been consolidated into condition #53 pertaining to what was being approved, and #13 pertaining to a circuitous connection and traffic calming measures.)

Thelma Scoggin
Harris Family
LTD Partnership

Spring
Meadows

Loggers
Creek

Bown
Crossing

Heron
Rookery

Wood Duck
Island

EXISTING CONDITIONS

Legend

 Floodway Boundary

Barber Valley Area
Specific Plan (SP02)
Aerial Photo-Existing Conditions
Barber Station/Marianne Williams Park
11-22-05 B Map 1
TLO: 005005 June 2007



BRIGHTON
CORPORATION

**Barber
Station**

Proposed East
Park Center Bridge

Floodway

Old Mill Ponds

Existing
Wetlands

Existing
Wetlands

**Barber
Station**

**Barber
Station**

Existing
Stockpile

Floodway

Existing
Stockpile

**Marianne
Williams Park**

Existing
Wetlands

**Proposed
Harris Ranch
Development**

Existing
Industrial Use

Walling Creek

Existing
Wetlands

Existing
Levee

**Barber
Park**

East Warm Springs Ave

Walling Creek

300' Boundary Offset

Wise Way
East Warm Springs Ave

Boise River

Images shown are conceptual only and subject to change

0 423'

11-22-05 B Map 1

Thelma Scoggin/
Harris Family
LTD Partnership

Spring
Meadows

Loggers
Creek

Bown
Crossing

Heron
Rookery

Wood Duck
Island

Barber
Station

Proposed East
Park Center Bridge

Floodway

Old Mill Ponds

100 Yr.
Flood Plain

Barber
Station

Floodway

Marianne
Williams Park

Barber
Park

Walling Creek

300' Boundary Offset

100 Yr.
Flood Plain

Proposed
Harris Ranch
Development

Existing
Industrial Use

Walling Creek

Existing
Levee

TOPOGRAPHIC MAP



Barber Valley Area
Specific Plan (SP02)
Aerial Photo - Topographic
Barber Station/Marianne Williams Park
11-22-05 B - Map 2
FILE #00005 May 2007

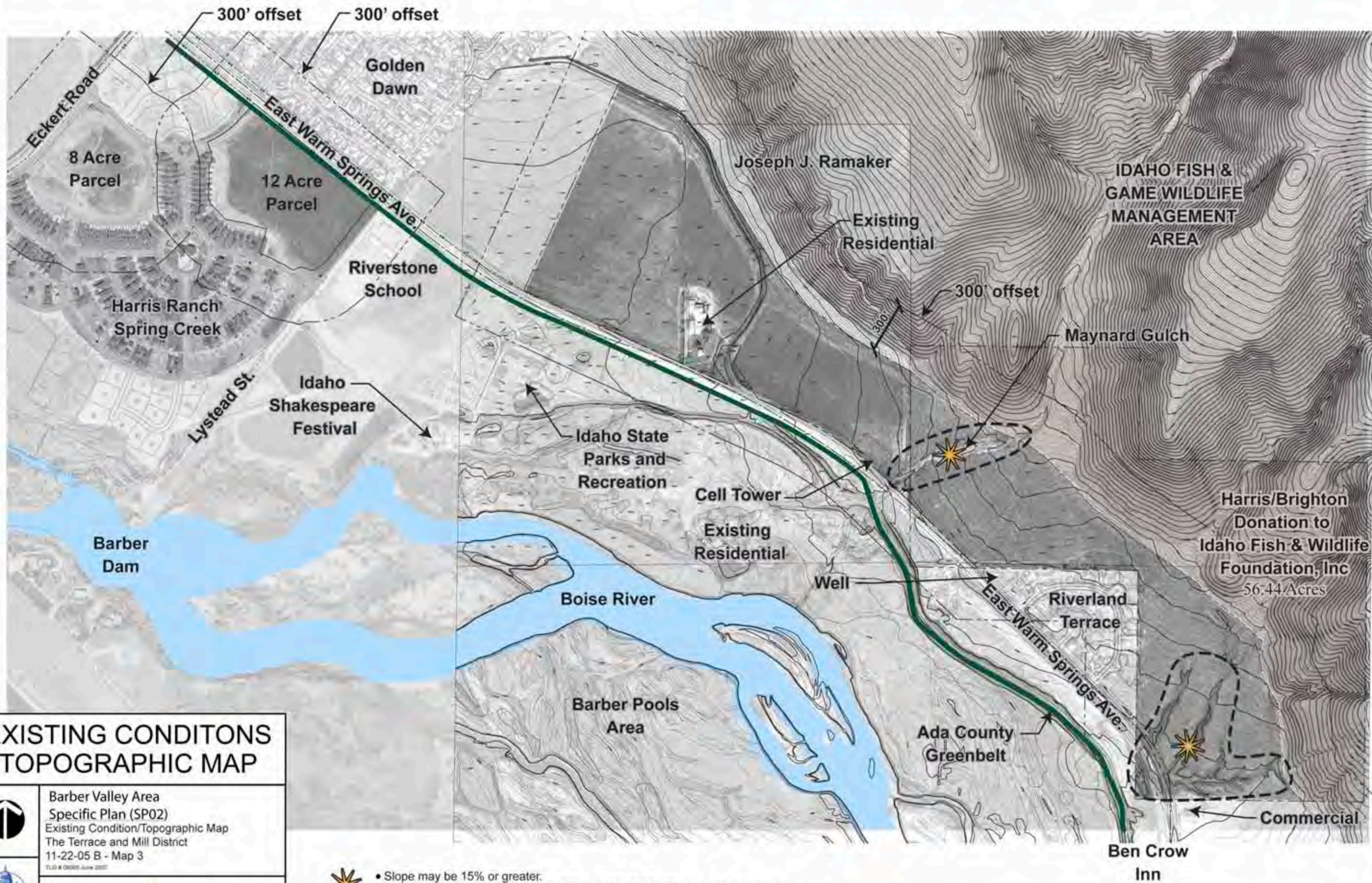


BRIGHTON
CORPORATION

Images shown are conceptual only and subject to change

0 423'

11-22-05 B Map 2



EXISTING CONDITONS TOPOGRAPHIC MAP



Barber Valley Area
Specific Plan (SP02)
Existing Condition/Topographic Map
The Terrace and Mill District
11-22-05 B - Map 3
TL03 00005 June 2007

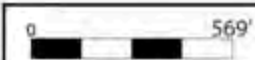


BRIGHTON
CORPORATION



- Slope may be 15% or greater.
- Brighton Corporation will work with Boise City Public Works to ensure existing foothills drainage is conveyed through the site safely and in accordance with Boise City Standards.

Images shown are conceptual only and subject to change



REV 3
Jan, 2008

Map 3

BARBER VALLEY
Environmental: Plants and Animals / Habitat
&
Wildlife Mitigation Plan – Executive Summary
(See Section 16 Vol. II for complete report)

Introduction

The following is a summary of the Wildlife Mitigation Plan (WMP) for the proposed Barber Valley Developments (BVD). The expanded version of this report includes a more detailed discussion of the: overall goals of the mitigation plan; existing conditions; survey methods and results for condition classifications and special status species; expanded discussion of direct, indirect impacts; as well as a detailed mitigation and funding plan.

Site Characteristics

The Terrace is characterized by agricultural lands, two riparian communities, native shrub and grassland flats, gently sloping grass and shrub communities at the base of the Boise foothills, and invasive/noxious weed communities. The majority of the site is currently used for agriculture, and tilled annually. This is a monotypic crop with little overall habitat value for most plant and wildlife species. However, several species of big game, including mule deer, whitetail, and some antelope, use the site year round for browse, while Canada geese also use it for bedding and foraging. Areas dominated by invasive and noxious weeds species provide limited habitat for native plant and wildlife species.

Barber Station is generally characterized by disturbed flats dominated by invasive and noxious weeds species with scattered, isolated pockets of residual native plant communities, primarily wetland or riparian areas. These isolated pockets are generally found at the periphery of the identified development area and adjacent to the site. The wetlands and riparian areas support the majority of the wildlife species that use the area, however a number of lizards, snakes, rodents, small mammals, and residential big game species use the disturbed flats as well.

Based on data obtained from the Idaho Department of Fish and Game's (IDFG) Conservation Data Center (CDC), there were seven identified special status species that have been historically observed in the area including: American bald eagle (*Haliaeetus leucocephalus*); Mojave black-collared lizard (*Crotaphytus bicinctores*); slick spot peppergrass (*Lepidium papilliferum*); shining flat sedge (*Cyperus bipartitus*); northern leopard frog (*Rana pipiens*); western toad (*Bufo boreas*); Woodhouse's toad (*Bufo woodhousii*). While there is habitat present for most of these species, it is generally in poor condition and unlikely to support a stable community, or is being protected or enhanced, per the development plan, Boise River permit, and the WMP. In addition,

BARBER VALLEY
Environmental: Plants and Animals / Habitat
&
Wildlife Mitigation Plan – Executive Summary
(See Section 16 Vol. II for complete report)

there were no observations of any of the identified species, with the exception of the American bald eagle, during site surveys conducted on both proposed development sites.

Impacts

To assess the overall impacts of the project, both adverse and beneficial, we identified the source of the disturbance, the type of impact (direct vs. indirect), and duration of impact (short vs. long-term). The type of impacts were determined based on the conceptual nature of the project and proposed actions, and are generally location specific. Impact duration depends on location, condition, duration of the disturbance, and the affected species associated with development. Potential impacts identified for the proposed developments include:

- Conversion of Open Space (Direct and Indirect Impacts);
- Disturbance to Riparian area (Direct and Indirect Impacts);
- Noise (Indirect Impact);
- Artificial Light (Indirect Impact);
- Recreation (Direct and Indirect Impacts);
- Pets (Direct and Indirect Impacts);
- Introduction of Invasive and Noxious Species (Direct and Indirect Impacts);
- Wildland Fire (Direct and Indirect Impacts);
- Traffic (Direct and Indirect Impacts);
- Nuisance Wildlife (Direct and Indirect Impacts);
- Mosquitoes and Other Pests (Direct and Indirect Impacts); and
- Actions to Avoid, Reduce, and Mitigate Overall Adverse Impacts.

Based on the identified direct and indirect impacts identified above, a number of mitigation actions were identified to limit the overall adverse impacts to plant and wildlife species in and adjacent to the proposed developments. The WMP identifies 10 primary components:

- The Barber Valley Conservation Director and Advisory Committee;
- Compliance surveys for the Federal Migratory Bird Treaty Act of 1972;
- Nest Boxes and Perches;
- Pest Control and BMP's
- Habitat Enhancement and Restoration Plan (Includes Invasive and Noxious Weed Abatement Plan);

BARBER VALLEY
Environmental: Plants and Animals / Habitat
&
Wildlife Mitigation Plan – Executive Summary
(See Section 16 Vol. II for complete report)

- Construction Precautions;
- General Neighborhood and Commercial Design Features;
- Recreation Guidelines and Restrictions;
- Nuisance Wildlife Guidelines; and
- Permanent Conservation Funding Source for Conservation-Based Programs.

The identified mitigation measures above were a compilation of local and regional professional suggestion and judgment, state and federal technical references, and general research. The mitigation actions are based on the initial concept plans and may require refinement throughout the application process, as well as the construction and post-construction phases of the development.

Adaptive Management Strategies

The development team recognizes that the findings of long-term monitoring could indicate the need for modification of the management of open space and conservation programs within the Barber Valley developments through the application of adaptive management. The development team and the Conservation Director will work cooperatively with the homeowners, Boise Parks and Recreation, the Idaho Department of Fish and Game, other state and federal agencies, and various special interest groups to develop appropriate actions or mitigation measures designed to address issues or concerns identified as a result of long-term and trend monitoring. Adaptive management tools that are available include, but are not limited to: timing stipulations during construction, operational changes of open space management and public use, lighting scenarios, increased restoration or enhancement measures, and other mitigation actions.



IDAHO DEPARTMENT OF FISH AND GAME

SOUTHWEST REGION

3101 South Powerline Road
Nampa, Idaho 83686

RECEIVED

OCT 11 2007

**DEVELOPMENT
SERVICES**

C.L. "Butch" Otter/Governor
Cal Green/Director

October 9, 2007

Bruce Eggelston
Boise City Hall
150 N. Capitol Blvd, P.O. Box 500
Boise, ID 83701-0500

Subject: Barber Valley Specific Plan District; Application CAR 07-00047

Dear Mr. Eggelston:

This letter supersedes our letter of September 18, 2007. The Idaho Department of Fish and Game (Department) has again reviewed the Wildlife Mitigation Plan (WMP) for the Proposed Barber Valley Developments prepared by ECS, Inc. including revisions dated September 17, 2007.

The Barber Valley Specific Plan District is located in area that has been the focus of many years of previous intensive work by the Department, the City, developers and various consultants. This application identifies three distinct and geographically separated development areas. Barber Station is an old industrial site on the floodplain of the Boise River that will be redeveloped. Mill District is a previously graded area adjacent to an already developed housing area. The Terraces site is located in an area of irrigated alfalfa fields and a mix of native and exotic vegetation. There is currently much valuable wildlife habitat included in these areas. While we understand that these lands are private property, development will largely eliminate the existing wildlife habitat. Department staff has met with consultants for the project proponents on several occasions to discuss our concerns and offer suggestions about the WMP.

A major area of concern for the Department is to ensure that connections between different kinds of wildlife habitat continue to exist over the long-term. Depending on the wildlife species involved, landscape scale connections may be quite large and may extend beyond the boundaries of an individual project. For example, the Department wants to see a functioning wildlife corridor maintained in the Maynard Gulch area that connects upland habitat in the Boise River Wildlife Management Area (BRWMA) with floodplain habitat along the Boise River in the Barber Pool area. That connection currently exists but poorly planned development between the foothills and the river could damage or destroy it.

We have been working with the developer's consultants to help them design a project footprint that includes a viable wildlife corridor at Maynard Gulch. The most recent design iteration from

Keeping Idaho's Wildlife Heritage

the developer includes a corridor of mostly natural open space that extends from the BRWMA boundary to Warm Springs Avenue. Although their proposed corridor is at the lower end of our recommended size parameters for mule deer, we think it has a good chance of succeeding. Planned riparian vegetation enhancement in the channel should provide cover for wildlife moving through the corridor and the required solid fences on properties adjacent to the corridor will provide visual screening. A proposed street bisecting the corridor was removed from earlier versions of the development plan and replaced with a walking path. Our remaining concern in this area is getting wildlife across Warm Springs Avenue. We suggest that passage under Warm Springs Avenue be included in the corridor design to make sure wildlife continue to have access to habitat along the Boise River. An open span bridge or buried box culvert would increase the likelihood that wildlife will safely pass through the corridor and could also serve as a connection to the greenbelt for pedestrians and bicycles.

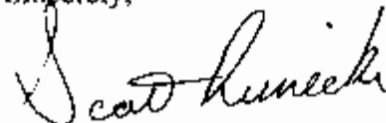
A similar passage under Warm Springs Avenue is also recommended for another key migration corridor near Ben's Crow Inn. We mention this area now because we think it is appropriate to consider certain large scale mitigation actions, such as migration corridors, in context with other development that is likely to occur nearby. If individual projects are considered separately, we risk losing sight of their combined or cumulative impacts.

Because traffic speed is reduced by using roundabouts, the Department believes they have potential for reducing auto-related wildlife mortalities and recommends their use. Roundabouts alone would not, however, take the place of migration corridor passages under heavily traveled streets.

Since our last letter, Department staff discussed recent changes to the WMP with project consultants. Based on those discussions, it appears that the revised plan includes all the major elements necessary for Department approval. At this time the Department has approved the Wildlife Mitigation Plan.

If you have any questions or need further assistance, please contact Ed Bothum of the Southwest Region at 331-2115. Thank you.

Sincerely,



Scott T. Reinecker
Southwest Regional Supervisor

STR/jd

Cc: Botum
NRPB

BARBER VALLEY

Cultural Resources Narrative – Executive Summary

(See Section 17 Vol. II for complete report)

Science Applications International Corporation completed the Harris Ranch Cultural Resources Survey in August 1996, and includes the majority of the property within the Specific Plan Application SP02 as submitted by Brighton Corporation.

Purpose

- Comply with regulations invoked through the possible use of federal funds or other federal resources in the development of a planned neighborhood that would be annexed by Boise City.
 - Results were used to plan the location of houses, public facilities, trails, streets, and open spaces.
 - Results were used to identify, through intensive surface survey, all observable cultural resources, including previously known sites and archaeologically sensitive areas.

Location

- 17 parcels of land totaling 1,371.5 acres (Figure 1 & 2 in the report).
 - The project area extends from the Boise River on the south into the foothills of the Boise Front Range on the north and northeast.

Disturbances

- The survey area is varying between somewhat disturbed and extremely disturbed and was once the location of the Barber Mill and the associated town of Barberton.
 - Both locations were subsequently razed and most traces removed, leaving some trash and an altered landscape.
 - Historic development has affected every portion of the valley.
 - Specifically, Producer's Lumber Company operations impacted a majority of Parcel 23 which is the proposed Barber Station and Marianne Williams Park.

Previous Investigations

- The results of previous cultural resource investigations are varied and in most cases encounter limited numbers of prehistoric resources with a low density of sites.
- The most common prehistoric sites are lithic scatters or rock shelters located in outcrops and lack datable materials.
- Although, there is no information available regarding the reliability of prior findings, archaeologists did locate and record numerous prehistoric and historic sites, including six outside the survey area and eight within the survey area. None of the sites are located within the project boundaries for the Barber Valley development as proposed in Specific Plan SP02.

BARBER VALLEY
Cultural Resources Narrative – Executive Summary
(See Section 17 Vol. II for complete report)

Conclusions and Recommendations

- Based on the results of an intensive cultural resource survey and a detailed analysis of the resources present, 6 of the 23 total resources exhibit the qualities necessary for eligibility to the National Register.
- None of the sites proposed in Specific Plan SP02 contain historic or pre-historic sites; therefore, no recommendation is made for this property.